

June 25, 2025

**Subject: ITB #2584-B: Justice Center Buildout - Construction
Addendum #2**

Gentlemen/Ladies:

Below, please find responses to questions, clarification, or additional information for the above referenced ITB. You will need to consider this information when preparing your bid.

The new due date and time for this ITB is 3:00p.m., Wednesday, July 2, 2025.

1. Will we be able to tie into the building with the temporary man hoist? **Provide engineered shop drawings to include foundation requirements for support of the man lift tower and to show required bracing back to the structure. This bracing back to the structure should include the loading necessary to brace the tower which can attach to the vertical leg of the slab edge screed angle at each intersecting floor. If a connection cannot be accessed, extend the bracing to lap onto the top of the concrete floor slab and attach to it. Architect will review submittal and approve as appropriate.**
2. C4.1 & T3.11 Note 6 – It notes to provide standard/removable bollards and to provide power switch for control of them. Please provide name of manufacture and model number for the required bollards. **Remove from scope of work bollards, planters, and boulders.**
3. Sheet A4.00 – Detail 19 indicated new steel angles welded to existing beams. Please clarify the size of the angles required. **The joist is adequate. Use SJI standard detail(s) to reinforce the joist bottom cord if the Won-door hanger rods are applied more than 4" from a joist bottom cord panel point. Use L2x2x3/16 added web each side of joist for reinforcing/ bracing of joist bottom cord is generally typical for this.**
4. As each area is turned over to the owner, will a Certificate of Occupancy be required for each phase of work? **The awarded GC will attend a Pre-Construction conference to discuss this item. At this time we expect that during the renovation, areas on the 1st and 2nd floors may be approved for partial or temporary occupancy and at the end of the job when the 3rd floor is complete, all of those will be officially closed out when the overall CO is approved.**
5. Specification Section 015000 - Paragraph 1.10 notes that existing parking areas may be used for construction parking and refers one to Sheet A0.00. Is the contractor lay down area all that is being provided to the GC for lay down compound & parking? Please provide an As-Built drawing of the entire laydown area the GC will have during construction. **Parking layout provided in Addendum 2 on sheet A0.00 Architectural Site & Building Elevation.**
6. Specification Section 062000 – Paragraph 2.01 notes that all the trim is to be Clear White Pine – prepare for paint finish. A sentence in the same paragraph says all new work to match

existing wood species and stain. Per the drawings, it appears that the finish carpentry and wood paneling is mahogany and will have a stain finish. Please confirm. **Clarification: 1st and 2nd floor Courtroom decorative woodwork including paneling , trim , casework, etc. are to be mahogany stained to match the existing. A Deductive Alternate is added for substitute wood species such as Sepele, with the caveat that the installation cannot begin until the Design Professional has field approved the stained sample submitted.**

7. Specification Section 064100 Architectural Wood Casework – In paragraphs 1.01 & 2.03 it notes related specification section 099300 – staining and transparent finish. Is all the wood casework; finish carpentry and wood paneling stained per section 099300? **099300 spec has been modified and is attached.**
8. Sheet S1.01 – Note #8 says after excavation of tunnel to inspect existing perforated drain piping for damage and for GC to provide an allowance or unit cost for repairs associated with unknown conditions. Is this potential allowance or unit cost to be provided once a GC is awarded? Is it covered under the Bid Form Item 10 – Contingency Allowance? Are we to include an allowance in the Bid Form Item #5? Sheet S1.01 – Note #9 says after excavation of tunnel to inspect the connecting 6” PVC drainage pipe and storm drains for damage via camera inspection. It also notes GC to provide an allowance or unit cost for repairs associated with unknown conditions. Is this potential allowance or unit cost to be provided once a GC is awarded? Is it covered under the Bid Form Item 10 – Contingency Allowance? Are we to include an allowance in the Bid Form Item #5? **After being awarded the job, Contractor will need to provide lump sum or unit prices for approval before proceeding with the work. Those costs are then assigned to the Contingency Allowance pay item. At the end of the job, any unused Allowance is credited to the Contract. The Contractor/bidder does not need to provide an allowance and does not need to provide any unit pricing at bid time.**
9. Bid Option 9 and Sheet C4.1 – Please confirm how many boulders or prefab planters are required, twenty-one? See revised sheet A0.00 Architectural Site & Bldg Elev for layout. **Remove from scope of work bollards, planters, and boulders.**
10. Bid Option 9 and Sheet C4.1 – C4.1 notes the planters are prefab. Is there a size requirement for the planters? **Remove from scope of work bollards, planters, and boulders.**
11. A0.00 – This sheet notes to install plus or minus 285 LF of perimeter fencing. Please advise what type of fencing is required. There are no specifications for new fencing, nor drawing details. **Details for fencing provided in Addendum 2 on new sheet A0.01 – Site Fencing.**
12. Elevation 18 A4.00 – There is an elevation of the Wondoor Folding Smoke Partition. There is not a specification section for this material. Please provide model number and material requirements. **Basis of design : Won-door Fireguard FLP – Flat lead Post – or approved equal.**
13. Specifications Section 011000 Summary – Can you provide the Company Name and Contact if your AV Systems & Equipment Vendor does other low voltage work, like communications and security. **A/V vendor will be released to the successful bidder.**
14. 087100 Door Hardware – Please advise if the following alternate is applicable. It is not on the Bid Form. However, located at the bottom of this section, it notes the following:
ALTERNATE 1:
Provide an alternate proposal to provide Best 12E and 1E Series rim and mortise cylinders, complete with Best CORMAX, 7-pin, Small Format Interchangeable Cores (SFIC) for all

locksets, exit devices, and mullions for entire facility. Alternate will include all required cylinders for this current scope of work in lieu of the cylinders specified in hardware sets above. A site survey of the facility will be required to determine specific requirements and cylinder quantities. Coordinate the site survey with Architect.

Added to 012300 Alternates and the Bid Schedule.

- 15. Please Note:** The contract will be awarded to the responsive bidder who bids the lowest price including the Base Bid and any Alternates chosen by the County.

Received by (Name): _____ Company _____

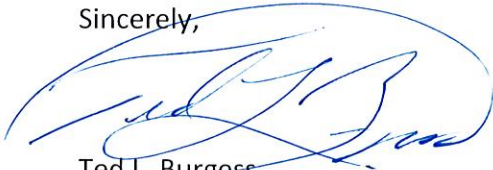
Note: If this addendum is not returned to the Fayette County Purchasing Department or if it is returned not signed, responding individuals, companies or other organizations will still be responsible for the requirements of this addendum and the specifications or changes herein.

The opening date for this ITB has not changed. **The opening time and date are 3:00p.m., Wednesday, July 2, 2025.** Bids must be received by the Purchasing Department at the address above, Suite 204, at or before the opening date and time.

The deadline for inquiries has passed, so the Purchasing Department will not be able to accept any additional questions after this time.

If you have questions, please contact Sherry White, Senior Contract Administrator at (770) 305-5314, fax (770) 719-5544 or email at swhite@fayettecountyga.gov.

Sincerely,



Ted L. Burgess
Chief Procurement Officer

Renovation of Fayette County Justice Center

1.1 ADDENDUM

- A. Addendum No. 2

1.2 PROJECT INFORMATION

- A. Project Name: Renovation of Fayette County Justice Center
- B. Owner: Fayette County Board of Commissioners
- C. Architect: IPG, Incorporated.
- D. Architect Project Number: 2312
- E. Date of Addendum: 6/24/25

1.3 NOTICE TO BIDDERS

- A. This Addendum is issued [**to all registered plan holders**] pursuant to the [**Instructions to Bidders**] [**and**] [**Conditions of the Contract**]. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form.

1.4 ATTACHMENTS

- A. This Addendum includes the following attached Documents, Specifications, and Drawings:
 - 1. Document : None
 - 2. Specification Section:
 - a. 01 23 00 Alternates (new sheet)
 - b. 09 93 00 Staining and Transparent Finishing (re-issue)
 - 3. Drawing Sheets:
 - a. X1.0 Cover Sheet (re-issue)
 - b. A0.00 Architectural Site Plan & Bldg Elevation (re-issue)
 - c. A0.01 Site Fencing (new sheet)

Renovation of Fayette County Justice Center

1.5 CLARIFICATIONS TO SPECIFICATIONS

- A. Bid Schedule
 - 1. Item #9 - Site Security Improvements Intended to limit vehicular access and proximity to Justice Center building. (Traffic Bollards and landscape planter box Barriers.)
 - 1) Remove from scope of work. Pricing for this item will be removed from Contractor's Bid Total.
 - b. Optional Deduct - from bid item #9 for substitute of Landscape Boulders (1000lb minimum) for concrete planter boxes.
 - 1) Remove from scope of work. Pricing for this item will be removed from Contractor's Bid Total.
- B. 08 7163 Security Hardware
 - 1. Section 1.04 Approved Manufacturer
 - a. A.3 Add: AirTeq
 - a) Keying must match existing keying for existing holding cell locks.
 - b) Pneumatic Locks not required per cut sheet submitted.
 - c) Surface mounted locks not required per cut sheets submitted.

1.6 REVISIONS TO SPECIFICATIONS

- A. 01 23 00 Alternates (new sheet)
 - 1. Alternate 1: Door Hardware
 - a. Added
 - 2. Alternate 2: Courtroom Decorative Woodworking
 - a. Added
- B. 09 93 00 Staining and Transparent Finishing (re-issue)
 - 1. Replace entire spec.

1.7 CLARIFICATIONS TO DRAWINGS

CIVIL SHEETS

- A. C4.1 Site Plan 2
 - 1. Remove all bollards , planters, and boulders from scope of work.

STRUCTURAL DRAWINGS

- B. S1.01 Existing Tunnel Foundation Plan
 - 1. General Note #8
 - a. "...GC to provide an allowance or unit cost for repairs associated with unknown conditions."
 - 1) Replace with:
 - a) Awarded Contractor will need to provide lump sum or unit prices for approval before proceeding with the work.
 - 2. General Note #9

Renovation of Fayette County Justice Center

- a. "...GC to provide an allowance or unit cost for repairs associated with unknown conditions."
 - 1) Replace with:
 - a) Awarded Contractor will need to provide lump sum or unit prices for approval before proceeding with the work.

ARCHITECTURAL DRAWINGS

- C. A4.00 Enlarged Floor Plans
 - 1. Detail 17
 - a. Revise basis of design to Won-door Fireguard FLP or approved equal.
 - b. 23" clear min. on striker required.

1.8 REVISIONS TO DRAWINGS

GENERAL DRAWINGS

- A. X1.0 Cover Sheet (revised sheet)
 - 1. Sheet Index
 - a. Added sheet A0.01 Site Fencing

ARCHITECTURAL DRAWINGS

- B. A0.00 Architectural Site & Building Elevation (revised sheet)
 - 1. Detail 2
 - a. Expanded Site plan to show designated contractor parking.
 - b. Added callout to Site Fencing Detail 1/A0.01
- C. A0.01 Site Fencing (new sheet)

END OF DOCUMENT 009113

SECTION 012300 - ALTERNATES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.2 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if the Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternates into the Work. No other adjustments are made to the Contract Sum.

1.3 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include, as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation, whether or not indicated as part of alternate.
- B. Execute accepted alternates under the same conditions as other Work of the Contract.
- C. Schedule: A Part 3 "Schedule of Alternates" Article is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

- A. Alternate No.1: Door Hardware
 - 1. Base Bid: Hardware as specified in Section 08 71 00 Door Hardware.

Renovation of Fayette County Justice Center

- a. Alternate: Provide an alternate proposal to provide Best 12E and 1E Series rim and mortise cylinders, complete with Best CORMAX, 7-pin, Small Format Interchangeable Cores (SFIC) for all locksets, exit devices, and mullions for entire facility. Alternate will include all required cylinders for this current scope of work in lieu of the cylinders specified in hardware sets above. A site survey of the facility will be required to determine specific requirements and cylinder quantities. Coordinate site survey with Architect.
- B. Alternate No.2: Courtroom Decorative Woodworking
 - 1. Base Bid: Mahogany finished to match existing.
 - a. Alternate: Substitute wood species such as Sepele stained to match existing with the caveat that the installation cannot begin until the Design Professional has field approved the stained sample submitted.

END OF SECTION 012300

SECTION 099300
STAINING AND TRANSPARENT FINISHING

PART 1 GENERAL**1.01 SECTION INCLUDES**

- A. Field application of stains.
- B. Field application of transparent finishes.

1.02 RELATED REQUIREMENTS

- A. Section 099123 - Interior Painting: Stains and transparent finishes for concrete substrates.

1.03 REFERENCE STANDARDS

- A. MPI (APSM) - Master Painters Institute Architectural Painting Specification Manual; Current Edition.

1.04 SUBMITTALS

- A. See Section 013000 - Administrative Requirements for submittal procedures.
- B. Product Data: Provide complete list of products to be used, with the following information for each:
 - 1. Manufacturer's name, product name and catalog number, and general product category.
- C. Samples: Two samples on actual wood substrate to be finished, 6 inch by 6 inch (____ by ____ mm) in size, indicating selected colors and sheens for each system, with specified coats cascaded. Compare samples to the existing architectural millwork in the building for approval.

1.05 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing the products specified in this section, with at least three years of documented experience.
- B. Applicator Qualifications: Company specializing in performing work of the type specified and with at least three years of documented experience.

1.06 DELIVERY, STORAGE, AND HANDLING

- A. Deliver products to site in sealed and labeled containers; inspect to verify acceptability.
- B. Container Label: Include manufacturer's name, type of stain or transparent finish, brand name, lot number, brand code, coverage, surface preparation, drying time, cleanup requirements, color designation, and instructions for mixing and reducing.
- C. Stain and Transparent Finish Materials: Store at minimum ambient temperature of 45 degrees F (7 degrees C) and a maximum of 90 degrees F (32 degrees C), in ventilated area, and as required by manufacturer's instructions.

1.07 FIELD CONDITIONS

- A. Do not apply materials when surface and ambient temperatures are outside the temperature ranges required by manufacturer of stains and transparent finishes.
- B. Follow manufacturer's recommended procedures for producing best results, including testing of substrates, moisture in substrates, and humidity and temperature limitations.

PART 2 PRODUCTS**2.01 MANUFACTURERS**

- A. Provide finishes from the same manufacturer to the greatest extent possible.
- B. Transparent Finishes:
 - 1. Behr Process Corporation; ____: www.behr.com/#sle.
 - 2. Bona US; ____: www.bona.com/#sle.
 - 3. Pittsburgh Paints; ____: www.ppgpaints.com/#sle.

Renovation of Fayette County Justice Center

4. Sherwin-Williams Company; ____: www.sherwin-williams.com/#sle.

C. Stains:

1. Behr Process Corporation; ____: www.behr.com/#sle.
2. Bona US; ____: www.bona.com/#sle.
3. Nova USA Wood Products; ____: www.novausawood.com/#sle.
4. Pittsburgh Paints; ____: www.ppgpaints.com/#sle.
5. Sherwin-Williams Company; ____: www.sherwin-williams.com/#sle.

2.02 STAINS AND TRANSPARENT FINISHES - GENERAL

A. Finishes:

1. Provide finishes capable of being readily and uniformly dispersed to a homogeneous coating, with good flow and brushing properties, and capable of drying or curing free of streaks or sags.
2. Provide materials compatible with one another and the substrates indicated under conditions of service and application, as demonstrated by manufacturer based on testing and field experience.
3. Supply each finish material in quantity required to complete entire project's work from a single production run.
4. Do not reduce, thin, or dilute finishes or add materials unless such procedure is specifically described in manufacturer's product instructions.

B. Flammability: Comply with applicable code for surface burning characteristics.

C. Sheens: Provide the sheens specified; where sheen is not specified, sheen will be selected later by Architect from the manufacturer's full line.

D. Colors: To be selected from manufacturer's full range of available colors.

1. Selection to be made by Architect after award of contract.

2.03 INTERIOR STAIN AND TRANSPARENT FINISH SYSTEMS

A. Finish on Wood:

1. Sealer: Alkyd, sanding sealer, clear; MPI #102.
2. Top Coat: Polyurethane varnish, oil modified; MPI #56 or 57.
3. Top Coat Sheen:
 - a. Satin: MPI gloss level 4; use this sheen at all locations.

2.04 ACCESSORY MATERIALS

A. Accessory Materials: Cleaning agents, cleaning cloths, sanding materials, and clean-up materials as required for final completion of finished surfaces.

B. Patching Material: Latex filler.

C. Fastener Head Cover Material: Latex filler.

PART 3 EXECUTION**3.01 PREPARATION**

- A. Clean surfaces thoroughly and correct defects prior to application.
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.
- C. Remove or mask surface appurtenances, including electrical plates, hardware, light fixture trim, escutcheons, and fittings, prior to preparing surfaces or finishing.
- D. Wood Surfaces to Receive Transparent Finish: Wipe off dust and grit prior to sealing, seal knots, pitch streaks, and sappy sections with sealer. Fill nail holes and cracks after sealer has dried; sand lightly between coats. Prime concealed surfaces with gloss varnish reduced 25 percent with thinner.

3.02 APPLICATION

- A. Apply products in accordance with manufacturer's written instructions and recommendations in "MPI Architectural Painting Specification Manual".
- B. Do not apply finishes to surfaces that are not dry. Allow applied coats to dry before next coat is applied.
- C. Apply each coat to uniform appearance in thicknesses specified by manufacturer.
- D. Reinstall items removed prior to finishing.

3.03 CLEANING

- A. Collect waste material that could constitute a fire hazard, place in closed metal containers, and remove daily from site.

3.04 PROTECTION

- A. Protect finishes until completion of project.
- B. Touch-up damaged finishes after Substantial Completion.

END OF SECTION

RENOVATION
OF
FAYETTE COUNTY JUSTICE CENTER
FAYETTE COUNTY, GEORGIA
BID DOCUMENTS

INDEX TO DRAWINGS

GENERAL

X1.0	COVER SHEET
CIVIL	
-	COVER SHEET – SITE DEVELOPMENT PLANS
C2.0	GENERAL NOTES
C3.0	EXISTING CONDITIONS & DEMOLITION PLAN
C4.0	SITE PLAN
C4.1	SITE PLAN (2)
C5.0	PAVING, GRADING, & DRAINAGE PLAN
C6.0	CONSTRUCTION DETAILS
-	COVER SHEET – EROSION, SEDIMENT, & POLLUTION CONTROL PLANS
EC2.0	INITIAL PHASE EROSION CONTROL PLAN
EC3.0	INTERMEDIATE PHASE EROSION CONTROL PLAN
EC4.0	FINAL PHASE EROSION CONTROL PLAN
EC5.0	HYDROLOGY PLAN
EC6.0	EROSION CONTROL NOTES
EC6.1	EROSION CONTROL NOTES
EC7.0	EROSION CONTROL DETAILS

STRUCTURAL

S101	EXISTING TUNNEL FOUNDATION PLAN
------	---------------------------------

ARCHITECTURAL

A0.00	ARCHITECTURAL SITE & BUILDING ELEVATION
A0.01	SITE FENCING
A1.00	OVERALL FLOOR PLANS EXISTING/DEMO
A1.01	OVERALL FLOOR PLANS LIFE SAFETY
A2.00	SUB-SURFACE FLOOR LEVEL
A2.01	FIRST FLOOR PLAN DEMO
A2.02	SECOND FLOOR PLAN DEMO
A2.03	THIRD FLOOR PLAN DEMO
A2.06	FIRST FLOOR RCP DEMO
A2.07	SECOND FLOOR RCP DEMO
A2.08	THIRD FLOOR RCP DEMO
A2.11	FIRST FLOOR PLAN NEW WORK
A2.12	SECOND FLOOR PLAN NEW WORK
A2.13	THIRD FLOOR PLAN NEW WORK
A2.16	FIRST FLOOR RCP NEW WORK
A2.17	SECOND FLOOR RCP NEW WORK
A2.18	THIRD FLOOR RCP NEW WORK
A3.00	INTERIOR PARTITION TYPES & DETAILS
A3.03	OVERALL BUILDING SECTIONS
A3.06	PARTIAL BUILDING WALL SECTIONS
A3.07	PARTIAL BUILDING WALL SECTIONS
A3.12	WALL SECTIONS & DETAILS
A4.00	ENLARGED FLOOR PLANS
A4.01	ENLARGED COURTROOM PLANS
A4.02	ENLARGED COURTROOM PLANS
A4.03	ENLARGED COURTROOM PLANS
A4.12	DOOR SCHEDULE
A4.13	DOOR TYPES & DETAILS
A4.14	ALUMINUM FRAMES & DETAILS
A5.00	INTERIOR ELEVATIONS
A5.01	CASEWORK SECTIONS
A5.02	COURTROOM INTERIOR ELEVATIONS
A5.03	COURTROOM SECTIONS
A5.04	COURTROOM DETAILS
A5.05	COURTROOM INTERIOR ELEVATIONS
A5.06	COURTROOM INTERIOR ELEVATIONS

INTERIORS

ID2.00	FINISH SCHEDULES & INDEX
ID2.01	FIRST FLOOR INTERIOR FINISHES PLAN
ID2.02	SECOND FLOOR INTERIOR FINISHES PLAN
ID2.03	THIRD FLOOR INTERIOR FINISHES PLAN

FIRE PROTECTION

F0.01	LEGEND, SCHEDULE, NOTES, & DETAILS – FIRE PROTECTION
F1.11	FIRST FLOOR PLAN – DEMOLITION – FIRE PROTECTION
F1.21	SECOND FLOOR PLAN – DEMOLITION – FIRE PROTECTION
F1.31	THIRD FLOOR PLAN – DEMOLITION – FIRE PROTECTION
F2.11	FIRST FLOOR PLAN – NEW WORK – FIRE PROTECTION
F2.21	SECOND FLOOR PLAN – NEW WORK – FIRE PROTECTION
F2.31	THIRD FLOOR PLAN – NEW WORK – FIRE PROTECTION

PLUMBING

P0.01	LEGEND, SCHEDULE, NOTES, & DETAILS – PLUMBING
P0.10	DEMOLITION & NEW WORK NOTES – PLUMBING
P1.01	BASEMENT FLOOR PLAN – DEMOLITION – PLUMBING
P1.11	PARTIAL FIRST FLOOR PLAN – DEMOLITION – PLUMBING
P1.12	PARTIAL FIRST FLOOR PLAN – DEMOLITION – PLUMBING
P1.13	PARTIAL FIRST FLOOR PLAN – DEMOLITION – PLUMBING
P1.14	PARTIAL FIRST FLOOR PLAN – DEMOLITION – PLUMBING
P1.21	PARTIAL SECOND FLOOR PLAN – DEMOLITION – PLUMBING
P1.22	PARTIAL SECOND FLOOR PLAN – DEMOLITION – PLUMBING
P1.23	PARTIAL SECOND FLOOR PLAN – DEMOLITION – PLUMBING
P1.24	PARTIAL SECOND FLOOR PLAN – DEMOLITION – PLUMBING
P1.31	PARTIAL THIRD FLOOR PLAN – DEMOLITION – PLUMBING
P1.32	PARTIAL THIRD FLOOR PLAN – DEMOLITION – PLUMBING
P1.33	PARTIAL THIRD FLOOR PLAN – DEMOLITION – PLUMBING
P1.34	PARTIAL THIRD FLOOR PLAN – DEMOLITION – PLUMBING
P1.41	ROOF PLAN – DEMOLITION – PLUMBING
P2.01	BASEMENT FLOOR PLAN – DEMOLITION – PLUMBING
P2.11	PARTIAL FIRST FLOOR PLAN – NEW WORK – PLUMBING
P2.12	PARTIAL FIRST FLOOR PLAN – NEW WORK – PLUMBING
P2.13	PARTIAL FIRST FLOOR PLAN – NEW WORK – PLUMBING
P2.14	PARTIAL FIRST FLOOR PLAN – NEW WORK – PLUMBING
P2.21	PARTIAL SECOND FLOOR PLAN – NEW WORK – PLUMBING
P2.22	PARTIAL SECOND FLOOR PLAN – NEW WORK – PLUMBING
P2.23	PARTIAL SECOND FLOOR PLAN – NEW WORK – PLUMBING
P2.24	PARTIAL SECOND FLOOR PLAN – NEW WORK – PLUMBING
P2.31	PARTIAL THIRD FLOOR PLAN – NEW WORK – PLUMBING
P2.32	PARTIAL THIRD FLOOR PLAN – NEW WORK – PLUMBING
P2.33	PARTIAL THIRD FLOOR PLAN – NEW WORK – PLUMBING
P2.34	PARTIAL THIRD FLOOR PLAN – NEW WORK – PLUMBING
P2.41	ROOF PLAN – NEW WORK – PLUMBING
P4.01	RISERS – PLUMBING
P4.02	RISERS – PLUMBING
P5.01	DETAILS – PLUMBING

MECHANICAL

M0.01	ABBREVIATIONS, LEGEND, & SCHEDULE – HVAC
M0.02	SCHEDULES – HVAC
M0.03	SCHEDULES – HVAC
M1.11	FIRST FLOOR PLAN – DEMOLITION – HVAC
M1.21	SECOND FLOOR PLAN – DEMOLITION – HVAC
M1.31	THIRD FLOOR PLAN – DEMOLITION – HVAC
M1.41	ROOF PLAN – DEMOLITION – HVAC
M2.11	FIRST FLOOR PLAN – NEW WORK – HVAC
M2.21	SECOND FLOOR PLAN – NEW WORK – HVAC
M2.31	THIRD FLOOR PLAN – NEW WORK – HVAC
M4.01	FLOW DIAGRAM – HVAC
M5.01	DETAILS – HVAC
M5.02	DETAILS – HVAC

ELECTRICAL

E0.01	LEGEND, & SCHEDULE – ELECTRICAL
E0.10	DEMOLITION & NEW WORK NOTES – ELECTRICAL
E1.01	BASEMENT FLOOR PLAN – DEMOLITION – LIGHTING
E1.02	BASEMENT FLOOR PLAN – DEMOLITION – POWER
E1.03	BASEMENT FLOOR PLAN – DEMOLITION – SYSTEMS/HVAC POWER
E1.11	FIRST FLOOR PLAN – DEMOLITION – LIGHTING
E1.12	FIRST FLOOR PLAN – DEMOLITION – POWER
E1.13	FIRST FLOOR PLAN – DEMOLITION – HVAC POWER
E1.21	SECOND FLOOR PLAN – DEMOLITION – LIGHTING
E1.22	SECOND FLOOR PLAN – DEMOLITION – POWER
E1.23	SECOND FLOOR PLAN – DEMOLITION – HVAC POWER
E1.31	THIRD FLOOR PLAN – DEMOLITION – LIGHTING
E1.32	THIRD FLOOR PLAN – DEMOLITION – POWER
E1.33	THIRD FLOOR PLAN – DEMOLITION – HVAC POWER
E1.41	ROOF PLAN – DEMOLITION – SYSTEMS/HVAC POWER
E2.01	BASEMENT FLOOR PLAN – NEW WORK – LIGHTING
E2.02	BASEMENT FLOOR PLAN – NEW WORK – POWER
E2.03	BASEMENT FLOOR PLAN – NEW WORK – SYSTEMS/HVAC POWER
E2.11	FIRST FLOOR PLAN – NEW WORK – LIGHTING
E2.12	FIRST FLOOR PLAN – NEW WORK – POWER
E2.13	FIRST FLOOR PLAN – NEW WORK – HVAC POWER
E2.21	SECOND FLOOR PLAN – NEW WORK – LIGHTING
E2.22	SECOND FLOOR PLAN – NEW WORK – POWER
E2.23	SECOND FLOOR PLAN – NEW WORK – HVAC POWER
E2.31	THIRD FLOOR PLAN – NEW WORK – LIGHTING
E2.32	THIRD FLOOR PLAN – NEW WORK – POWER
E2.33	THIRD FLOOR PLAN – NEW WORK – HVAC POWER
E2.34	THIRD FLOOR PLAN – NEW WORK – AV INFRASTRUCTURE
E2.41	ROOF PLAN – NEW WORK – SYSTEMS/HVAC POWER
E6.01	RISER – ELECTRICAL
E7.01	DETAILS – ELECTRICAL
E8.01	PANELBOARD SCHEDULES – ELECTRICAL
E8.02	PANELBOARD SCHEDULES – ELECTRICAL
E8.03	PANELBOARD SCHEDULES – ELECTRICAL
E8.04	PANELBOARD SCHEDULES – ELECTRICAL
E8.05	PANELBOARD SCHEDULES – ELECTRICAL
E8.06	PANELBOARD SCHEDULES – ELECTRICAL
E8.07	PANELBOARD SCHEDULES – ELECTRICAL
E8.08	PANELBOARD SCHEDULES – ELECTRICAL

SECURITY

T0.01	LEGEND AND GENERAL NOTES – LOW VOLTAGE & SECURITY
T0.02	LEGEND AND GENERAL NOTES – LOW VOLTAGE & SECURITY SHEET 2
T0.03	LEGEND AND GENERAL NOTES – LOW VOLTAGE & SECURITY SHEET 3
T2.11	FIRST FLOOR PLAN NEW WORK
T2.12	SECOND FLOOR PLAN NEW WORK
T2.13	THIRD FLOOR PLAN NEW WORK
T3.11	LARGE SCALE LAYOUTS NEW WORK
T4.11	CCTV DETAILS SHEET ONE NEW WORK
FA.21	THIRD LEVEL FIRE ALARM NEW WORK
FA.22	THIRD LEVEL FIRE ALARM NEW WORK
EX.11	SUB SURFACE EXISTING CAMERA LOCATIONS
EX.12	FIRST FLOOR EXISTING CAMERA LOCATIONS
EX.13	SECOND LEVEL EXISTING CAMERA LOCATIONS



ARCHITECT

IPG, INCORPORATED

2722 NORTH OAK STREET
VALDOSTA, GA 31602
(229) 242-3557



CIVIL

EMC ENGINEERING

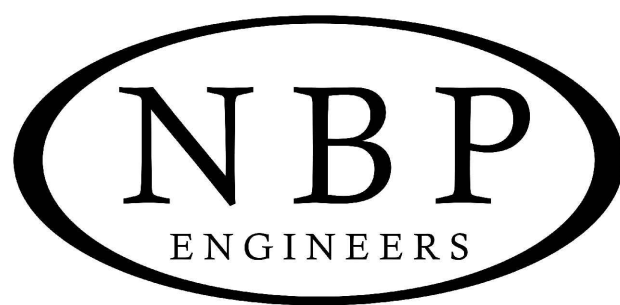
103 N CENTER STREET
THOMASTON, GA 30286
(229) 244-0596



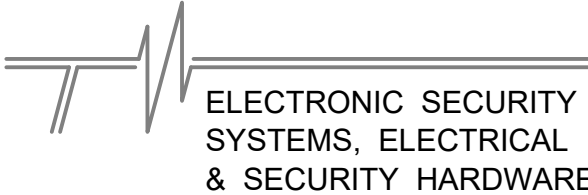
STRUCTURAL

CREWS ENGINEERING, INC.

101 B, SOUTH PATTERSON STREET
VALDOSTA, GA 31601
(229) 244-3100



TANNER HOSKINS
CONSULTANTS, LLC



PLUMBING MECHANICAL ELECTRICAL

NBP ENGINEERS, INC.

316 CORPORATE PARKWAY
MACON, GA 31210-1152
(478)745-1691

SECURITY

TANNER CONSULTANTS, INC.

3447 LAKE SEMINOLE PLACE
BUFORD, GA 30519
(678) 656-8832



IPG, Incorporated
architects & planners

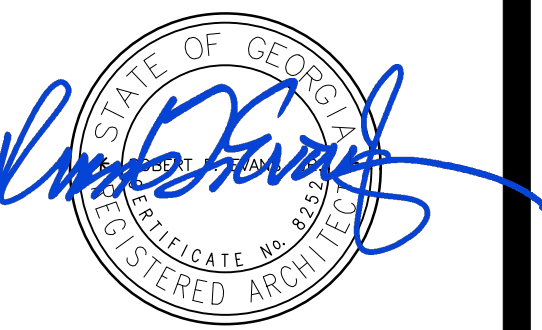
807 Northwood Park Drive
Valdosta, Georgia 31602
T: 229.242.3557
F: 229.242.4339
E: mail@ipgarchitects.com
www.ipgarchitects.com

FAYETTE COUNTY
JUSTICE CENTER
RENOVATION

Fayetteville, GA



RENOVATION
OF
FAYETTE COUNTY JUSTICE CENTER
1 CENTER DRIVE, FAYETTEVILLE, GA 30214



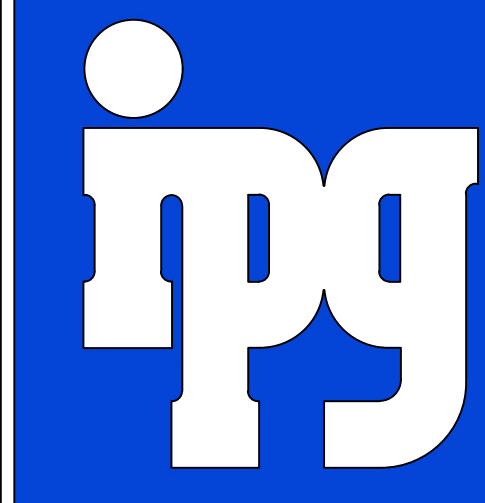
These drawings are the property of the
Architect and may not be reproduced
or reused without permission and credit.
©IPG, Incorporated. 2025

DRAWN	RE/ZA/RC/JB	REV	ADD 2	6/24/25
CHECKED	RE	REV		
JOB #	2312	REV		
DATE	14APRIL2025	REV		

TITLE
SHEET

X1.0

BID DOCUMENTS



IPG, Incorporated
architects & planners

807 Northwood Park Drive
Valdosta, Georgia 31602
T: 229.242.3557
F: 229.242.4339
E: mail@ipgarchitects.com
www.ipgarchitects.com

FAYETTE COUNTY
JUSTICE CENTER
RENOVATION

Fayetteville, GA

RENOVATION
OF
FAYETTE COUNTY JUSTICE CENTER
1 CENTER DRIVE, FAYETTEVILLE, GA 30214

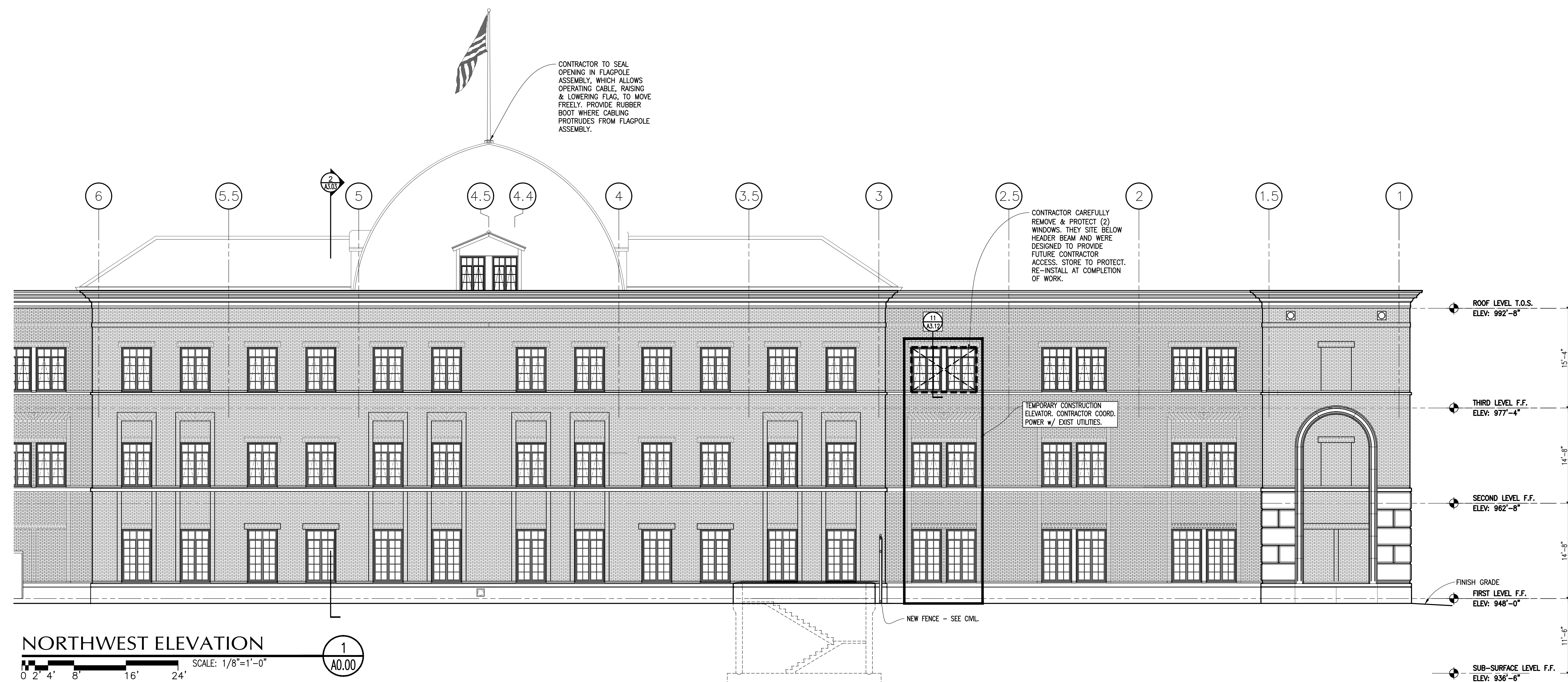


These drawings are the property of the
Architect and may not be reproduced
or reused without permission and credit.
©IPG, Incorporated. 2025

DRAWN	RE/ZA/RC/JB	REV	ADD 2 6/24/25
CHECKED	RE	REV	
JOB #	2312	REV	
DATE	14APRIL2025	REV	

ARCHITECTURAL
SITE & BLDG
ELEVATION

A0.00

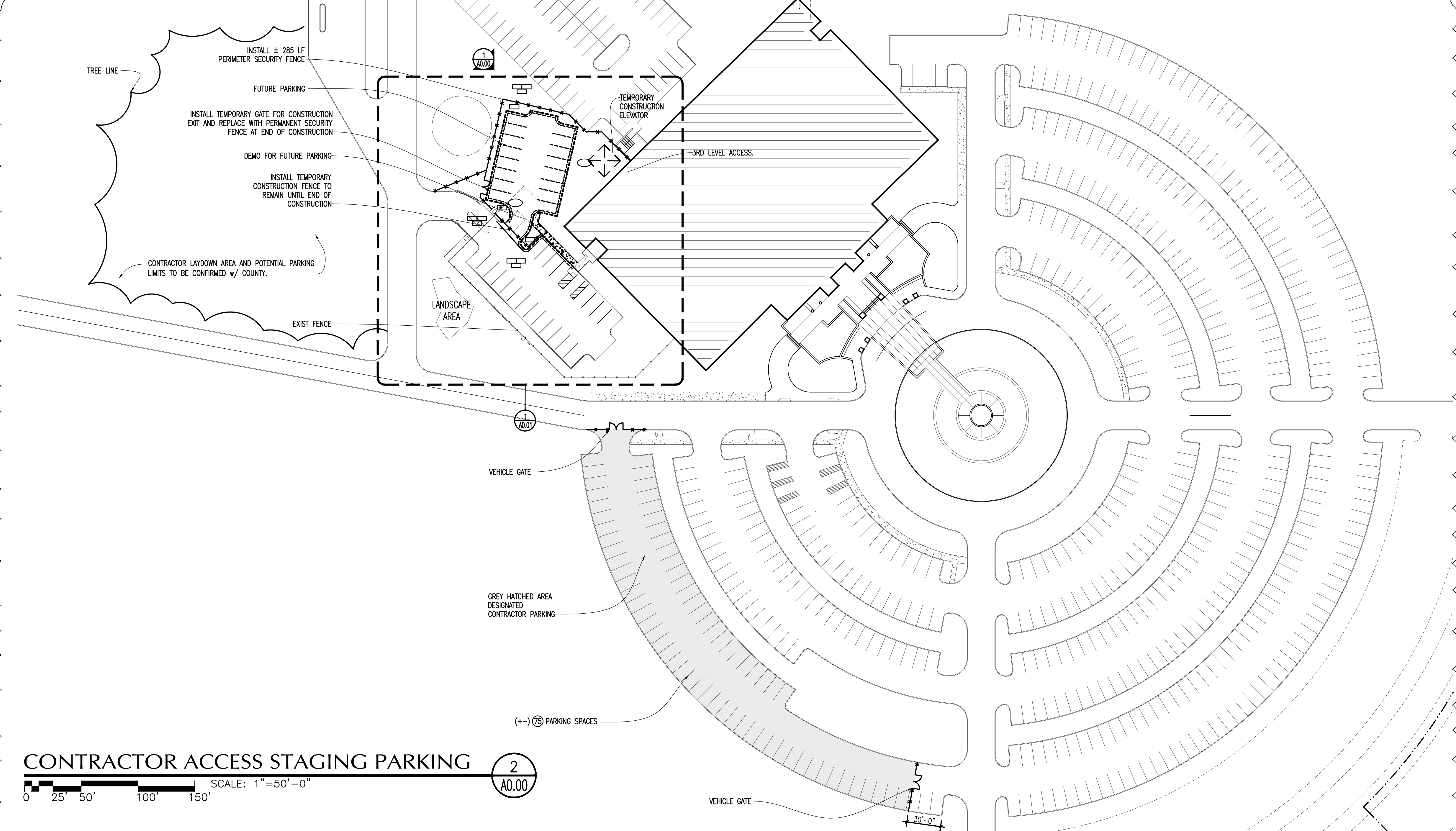


NORTHWEST ELEVATION

SCALE: 1/8"=1'-0"

0 2' 4' 8' 16' 24'

1
A0.00

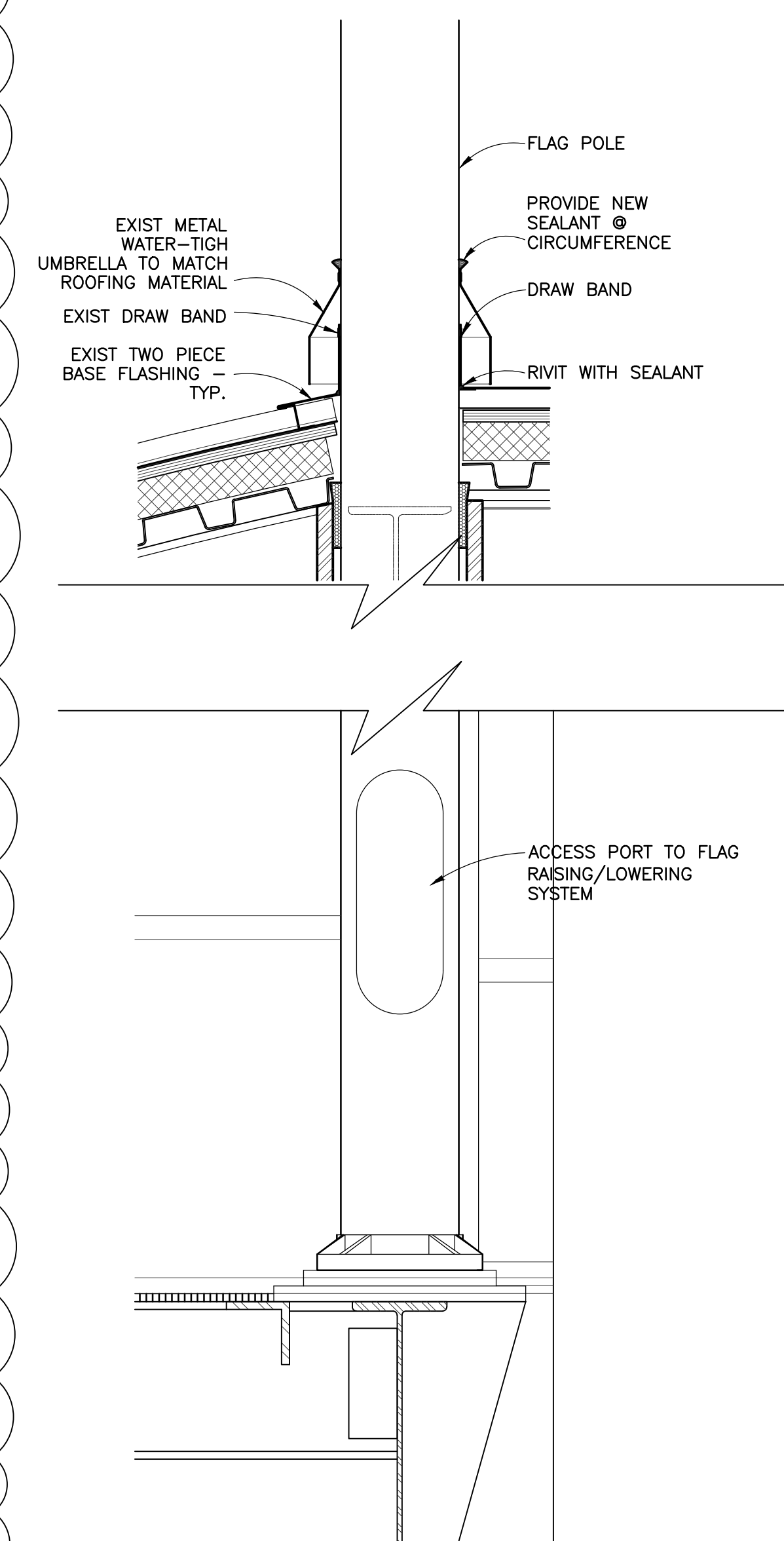


CONTRACTOR ACCESS STAGING PARKING

SCALE: 1"=50'-0"

0 25' 50' 100' 150'

2
A0.00



FLAGPOLE DETAIL

SCALE: 1 1/2"=1'-0"

0 4" 8" 1' 2'

3
A0.00

BID DOCUMENTS



IPG, Incorporated
architects & planners

807 Northwood Park Drive
Valdosta, Georgia 31602
T: 229.242.3557
F: 229.242.4339
E: mail@ipgarchitects.com
www.ipgarchitects.com

FAYETTE COUNTY
JUSTICE CENTER
RENOVATION

Fayetteville, GA

TANNER HOSKINS
ENGINEERING
CONSULTANTS, LLC

ELECTRONIC SECURITY
SYSTEMS, ELECTRICAL,
LOW VOLTAGE &
SECURITY HARDWARE
3447 Lake Seminole Place
Buford, Georgia 30519
tanner@tannerhoskins.com
678-658-8832 mobile
www.tannerhoskins.com

THESE DRAWINGS ARE COPYRIGHTED AND THE PROPERTY
OF THE COMPANY TANNER HOSKINS CONSULTING, LLC.
THESE DRAWINGS SHALL NOT BE REPRODUCED, PUBLISHED
OR USED IN ANY WAY WITHOUT WRITTEN PERMISSION AND
CREDIT FROM THCLLC.
© Tanner Hoskins Consultants, LLC

RENOVATION
OF
FAYETTE COUNTY JUSTICE CENTER
1 CENTER DRIVE, FAYETTEVILLE, GA 30214



These drawings are the property of the
Architect and may not be reproduced
or reused without permission and credit.
© IPG, Incorporated, 2023

DRAWN FT/CT	REV. ADD 2 6/24/25
CHECKED FT	REV.
JOB # 2317	REV.
DATE 14 APRIL 2025	REV.

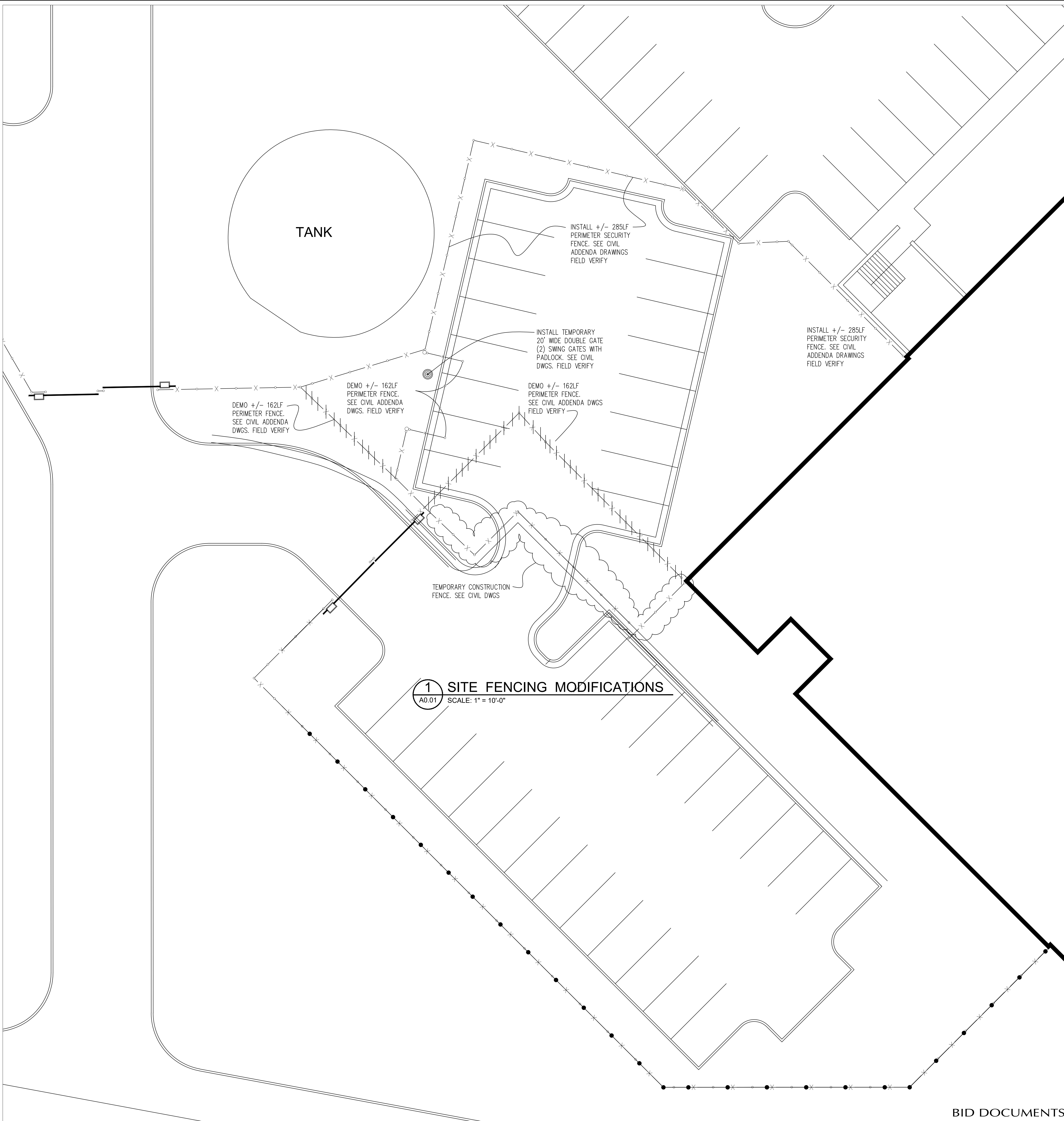
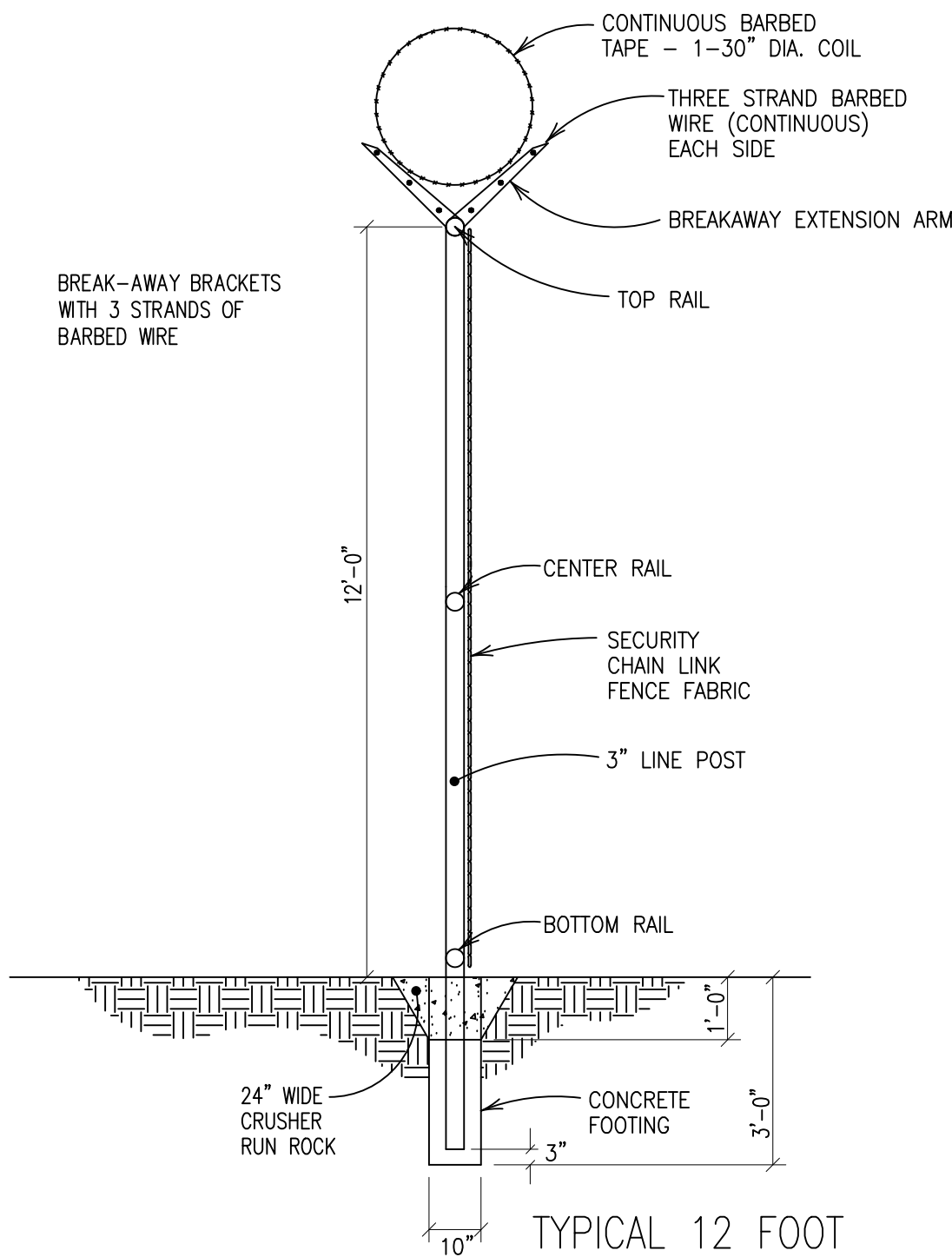
SITE
FENCING

A0.01

BID DOCUMENTS

1 SITE FENCING MODIFICATIONS
A0.01 SCALE: 1" = 10'-0"

2 SECTION - TYPICAL PERIMETER FENCE
A0.01 SCALE: 3/8" = 1'-0"



BIDDER acknowledges receipt of the following ADDENDUMs:

BIDDER agrees to perform all the work described in the CONTRACT DOCUMENTS for the following unit prices or lump sum:

BID SCHEDULE Revised per Addendum #2

NOTES: BIDS shall include labor, materials, subcontracted work, delivery, storage, sales tax and all other incidental work and applicable taxes, insurance, bonds and fees, required for a complete project.

No.	Unit Item	Total Quant.	Unit	Price	Est.
					Price
1.	Mobilization.	1	L.S.	L.S.	\$
2.	Temporary jobsite facilities Including office trailers, storage, Sanitary, construction elevator, Utilities, etc.	1	L.S.	L.S.	\$
3.	Sitework, including clearing, grading, demolition, expansion to judges parking lot, storm inlet modifications GAB, paving, striping, curb & gutter, Erosion Control and sod.	1	L.S.	L.S.	\$
4.	Modifications to existing Security Fencing at construction elevator and expanded Judges Parking lot.	1	L.S.	L.S.	\$
5.	Leak repair at subterranean Tunnel between Jail and Justice Center.	1	L.S.	L.S.	\$
6.	Buildout of Justice Center, 3 rd Floor, complete including All finishes and systems.	1	L.S.	L.S.	\$

- | <u>1</u> | <u>L.S.</u> | <u>L.S.</u> | <u>\$</u> |
|----------|-------------|-------------|-----------|
|----------|-------------|-------------|-----------|

- | | | | |
|----------|-------------|-------------|-----------|
| <u>1</u> | <u>L.S.</u> | <u>L.S.</u> | <u>\$</u> |
|----------|-------------|-------------|-----------|

- | | | | |
|---|------|------|----|
| 1 | L.S. | L.S. | \$ |
|---|------|------|----|

<\$ >

- | | | | |
|---|------|------|--------------|
| 1 | L.S. | L.S. | \$250,000.00 |
|---|------|------|--------------|

TOTAL OF BASE BID \$

Additive Alternate No. 1 - Door Hardware. \$ _____

Deductive Alternate No. 2 - Courtroom Decorative Woodwork \$(_____)

Time to Complete Project _____ Calendar Days.

Respectfully Submitted:

_____ Signature	_____ Company
_____ Printed Name	_____ Address
_____ Title	_____
_____ License No.	_____ Date

SEAL - (if BID is by a corporation)