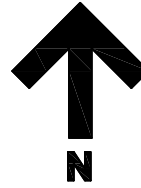


FAYETTEVILLE, GEORGIA

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JEFFERSON

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ARCHITECTS, INC.
150 HUDDLESTON ROAD, SUITE 1000
PEACHTREE CITY, GEORGIA 30269
770 - 632 - 9545
JEFFERSONBROWNEARCHITECTS.COM

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PROJECT TEAM

BUILDING OWNER

FAYETTE COUNTY, GEORGIA

140 STONEWALL AVENUE WEST, SUITE 201
FAYETTEVILLE, GEORGIA 30214

CONTACT: STEVEN P.TAFOYA- DIRECTOR, BUILDING OFFICE

PHONE: 770-305-5127

E-MAIL: STAFOYA@FAYETTECOUNTYGA.GOV

ARCHITECT

JEFFERSON BROWNE GRESHAM
ARCHITECTS INC.

DESIGN PRINCIPAL: JEFFERSON
PROJECT ARCHITECT: PAUL GRESHAM - GA LIC. #013611
150 HUDDLESTON RD, SUITE 1000
PEACHTREE CITY, GEORGIA 30269
CONTACT: STEFAN KRAL - PROJECT MANAGER
PHONE: 770-632-9545
E-MAIL: STEFAN@JBGA.US

GENERAL CONTRACTOR

TBD

STRUCTURAL ENGINEER
ALPHA OMEGA
ENGINEERING, LLC

21 LANTERN CIRCLE
CARTERSVILLE, GEORGIA 30120
CONTACT: JASON BAINES
OFFICE: 404-771-9106
E-MAIL: jason.baines@comcast.net

MEP ENGINEER

FAGAN ENGINEERING SERVICES, INC.

327 DAHLONEGA STREET, SUITE 101B
CUMMING, GEORGIA 30040
OFFICE: 678-648-4904
CONTACT: BRIAN FAGAN

PERMIT INFORMATION

JEFFERSON BROWNE GRESHAM ARCHITECTS WILL BE PROVIDING CONTRACT/CONSTRUCTION ADMINISTRATION SERVICES FOR THIS PROJECT.

JEFFERSON BROWNE GRESHAM ARCHITECTS WILL NOT BE PROVIDING ADA/ACCESSIBILITY ANALYSIS OR DESIGN BEYOND 5'-0" OUTSIDE OF THE BUILDING SHELL. REFER TO CIVIL DRAWINGS UNDER SEPARATE COVER

SUMMARY OF THE WORK:	EXISTING ONE STORY OFFICE BUILDING REMODEL
CONSTRUCTION TYPE:	V-B (000) NOT SPRINKLERED
OCCUPANCY CLASSIFICATION:	EXISTING BUSINESS
BUILDING HEIGHT	22'-0" +/- A.F.F. AT ROOF RIDGE
BUILDING AREA(S):	
FIRST FLOOR:	+/- 5,416 S.F. 5F (OUTSIDE OF FRAMING)
OCCUPANT LOAD	73 OCCUPANTS

REQUIRED SUBMITTALS

1. G.C. PROVIDED AND ENGINEER SEALED CONCRETE, FOUNDATION, AND REBAR SHOP DRAWINGS FOR STRUCTURAL ENGINEER / ARCHITECT REVIEW PRIOR TO ORDERING OR FABRICATION.
2. G.C. PROVIDED ENGINEER SEALED LIGHT GAUGE METAL FRAMING SHOP DRAWINGS FOR STRUCTURAL ENGINEER / ARCHITECT REVIEW PRIOR TO ORDERING OR FABRICATION.
3. G.C. PROVIDED DOOR HARDWARE SCHEDULE FOR OWNERS AND ARCHITECTS REVIEW AND APPROVAL.

COORDINATION NOTES

1. FIRE ALARM NOT REQUIRED FOR THIS PROJECT PER NFPA 101 SECTION 38.3.4.1
IF REQUIRED PER LOCAL JURISDICTION FIRE ALARM PLANS SHALL BE SUBMITTED AND APPROVED SEPARATELY.
FIRE ALARM COMPANY LICENSED IN STATE OF GEORGIA
WILL PROVIDE ALL REQUIRED SUBMITTALS AS REQUIRED BY GOVERNING JURISDICTION(S) FOR ALL SCOPE REQUIRED.
2. I.T. PACKAGE, LOW VOLTAGE DRAWINGS AND SECURITY SYSTEMS WILL BE PROVIDED BY OWNER.
3. LOW VOLTAGE DRAWINGS SHALL BE SUBMITTED AND APPROVED SEPARATELY.
COMPANY LICENSED IN STATE OF GEORGIA WILL PROVIDE ALL REQUIRED SUBMITTALS AS REQUIRED BY GOVERNING JURISDICTION(S) FOR ALL SCOPE REQUIRED.
4. FOR PERMITTING AND INSPECTIONS, THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY COORDINATION.
5. COORDINATE ALL BUILDING DIMENSIONS WITH CIVIL DRAWINGS SUBMITTED UNDER SEPARATE COVER.
6. DEFERRED SUBMITTALS
ALL DEFERRED SUBMITTALS AS INDICATED IN THE CONSTRUCTION DOCUMENTS SHALL BEAR THE SEAL OF A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF GEORGIA.
7. ASSOCIATED COST AND FEE FOR SHOP DRAWING AND DEFERRED SUBMITTALS TO BE INCLUDED AND PROVIDED IN THE CONTRACTOR'S BASE FEE.
8. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND NOT IN THIS SCOPE OF WORK. G.C. TO COORDINATE WITH BUILDING OWNER ALL REQUIREMENTS REGARDING BUILDING STANDARDS AND ANY LOCAL JURISDICTION REQUIREMENTS.
9. SITE LIGHTING IS NOT IN SCOPE OF THIS PROJECT. IF DURING BUILDING PERMIT APPROVAL FOR THIS PROJECT IF CITY WOULD REQUIRE ANY CHANGES RELATED TO EXISTING SITE LIGHTING IT WOULD BE ADDITIONAL SERVICE AND SCOPE WILL BE EVALUATED AT THAT TIME.

APPLICABLE CODES

- INTERNATIONAL BUILDING CODE 2018 w/ GEORGIA AMENDMENTS (2020)
 - INTERNATIONAL FIRE CODE 2018 W/ ALL GEORGIA AMENDMENTS (2020)
 - NATIONAL FIRE PROTECTION ASSOCIATION "LIFE SAFETY CODE" 101-2018
 - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
 - RULES AND REGULATIONS OF THE SAFETY FIRE COMMISSIONER CHAPTER 120-3-3
 - RULES AND REGULATIONS FOR STATE MINIMUM FIRE SAFETY STANDARDS
 - INTERNATIONAL MECHANICAL CODE 2018 W/ ALL GEORGIA AMENDMENTS (2020)
 - INTERNATIONAL PLUMBING CODE 2018 W/ ALL GEORGIA AMENDMENTS (2020)
 - INTERNATIONAL FUEL GAS CODE 2018 W/ ALL GEORGIA AMENDMENTS
 - NATIONAL ELECTRIC CODE 2020 - NO GEORGIA AMENDMENTS
 - INTERNATIONAL ENERGY CONSERVATION CODE 2015 W/ ALL GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)
- THIS PROJECT IS DESIGNED PER ASHRAE/IESNA STANDARD 90.1-2013



FINAL DRAWING
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COVER INDEX SHEET

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Drawn By: SKEO
Checked By: PLG
PROJECT # 21-3142

A-001



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FAYETTE COUNTY ELECTIONS OFFICE REMODEL

175 JOHNSON AVENUE
FAYETTEVILLE, 30214 GEORGIA
PROJECT #3142

PROJECT



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AS-BUILT
PLAN

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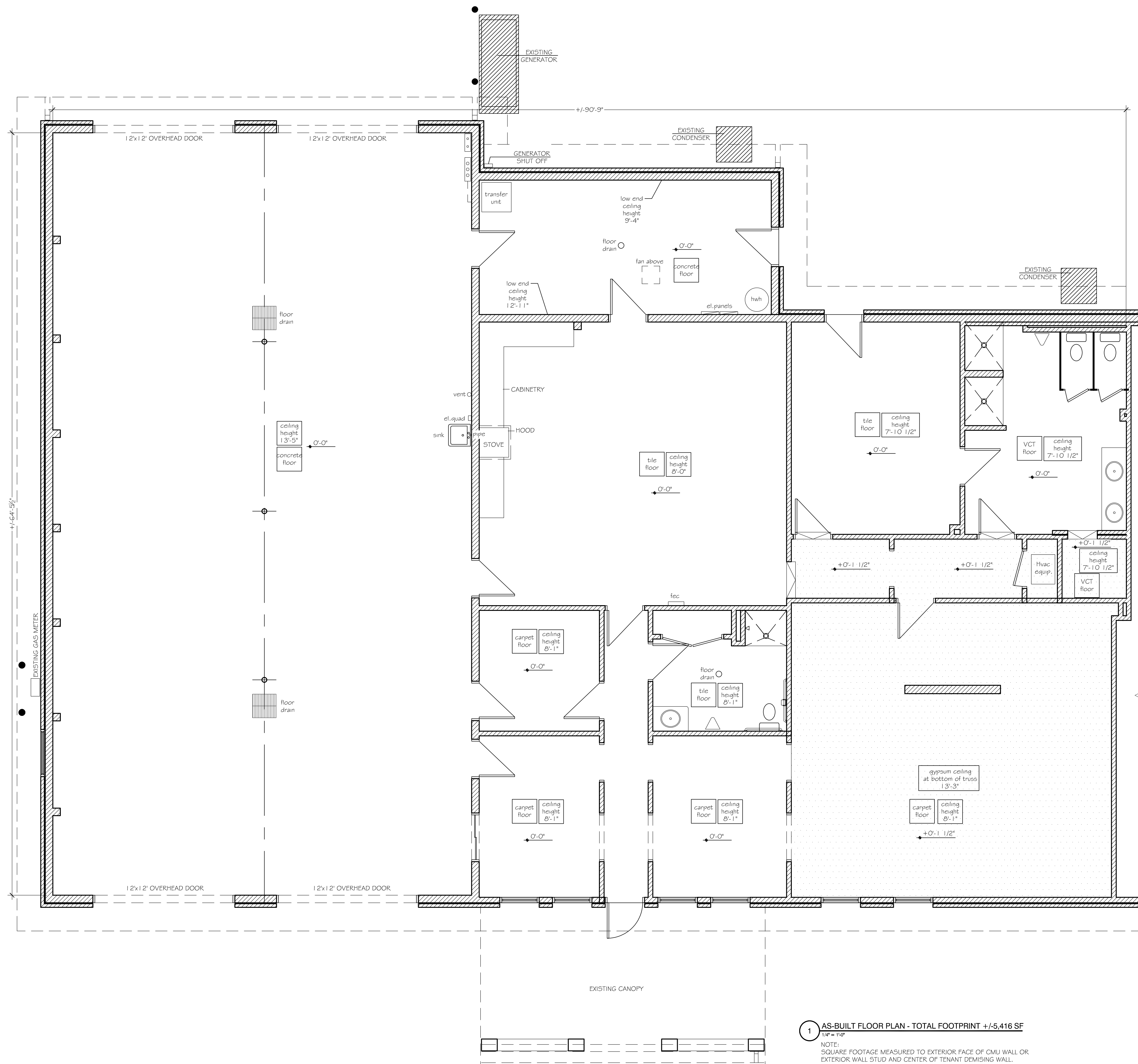
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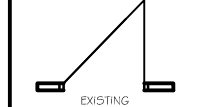


GRAPHIC LEGEND

WALLS

 EXISTING WALL

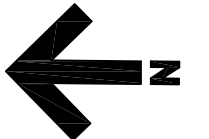
DOORS



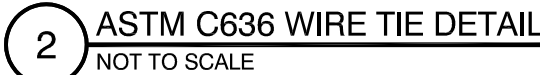
1 AS-BUILT FLOOR PLAN - TOTAL FOOTPRINT +/-5,416 SF

$$1/4^n = 1^1 \cdot 0^n$$

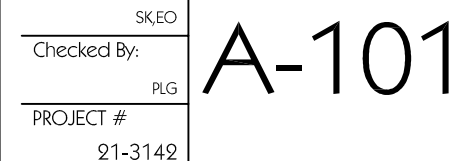
NOTE:
SQUARE FOOTAGE MEASURED TO EXTERIOR FACE OF CMU WALL OR
EXTERIOR WALL STUD AND CENTER OF TENANT DEMISING WALL.



21-3142 |



- 5 SEISMIC DETAIL OF SUSPENDED CEILING
NOT TO SCALE





CEILING TYPES	
CEILING TYPE	CEILING HEIGHT
	A: 2'x4' ACOUSTICAL CEILING TILES AND GRID
	B: 2'x2' ACOUSTICAL CEILING TILES AND GRID
	C: EXISTING 2'x2' ACOUSTICAL CEILING TILES AND GRID TO REMAIN, CLEAN, PATCH, REPAIR, BID ALTERNATE TO PROVIDE NEW 2'x4 CEILING GRID AND ACOUSTICAL TILE
	D: EXISTING GYPSUM BOARD CEILING, SCRAPE EXISTING TEXTURE -PATCH,REPAIR,CLEAN AND PROVIDE NEW SKIM COAT. IN AREAS WHERE WALL WAS REMOVED PROVIDE NEW GYPSUM BOARD CEILING WITH NEW SKIM COAT TO MATCH EXISTING. (FOR NEW GYPSUM BOARD CEILING PROVIDE BLOCKING FOR ATTACHMENT AS NEED.

RCP LEGEND	
	2' x 4' LED LAY-IN FIXTURE
	2' x 2' LED LAY-IN FIXTURE
	1' x 4' LED SURFACE MOUNTED FIXTURE
	PAINTED DROPPED GYPSUM BOARD SOFFIT SEE RCP FOR HEIGHTS
	9"x9" EXTERIOR LED SURFACE MOUNTED LIGHT FIXTURE LISTED FOR WET LOCATION
	EXHAUST FAN
	WALL MOUNTED EXIT SIGN WITH EMERGENCY LIGHTING AND BATTERY BACKUP
	DIRECTIONAL CEILING MOUNTED EXIT SIGN W/ EMERGENCY LIGHTING AND BATTER BACKUP
	ADJACENT TENANT - NO WORK

RCP KEYNOTE LEGEND	
1	DROPPED SOFFIT AT NEW BEAM. WRAP NEW BEAM WITH 1/2" GYPSUM BOARD. BOTTOM OF FINISHED SOFFIT NO LESS THAN 6'-8" CLEAR FROM FINISHED FLOOR.
2	DROPPED SOFFIT AT NEW OPENING. +/-9'-0" AFF. SEE SOFFIT FRAMING SPECIFICATION ON THIS SHEET.
3	EXISTING ATTIC ACCESS (PULL DOWN STEPS TO REMAIN) CLEAN AND PAINT. PROVIDE A LOCK.
4	PROVIDE NEW EXTERIOR SHOE BOX LIGHT ABOVE THE DOOR
5	PROVIDE NEW EXTERIOR SHOE BOX LIGHT ABOVE THE DOOR
6	REPAIR AREA WHERE WALLS WERE REMOVED. MATCH EXISTING GRID AND ACOUSTICAL CEILING TILE
7	EXISTING SOFFIT AT CANOPY - REPAIR,CLEAN AND PAINT
8	NEW SOFFIT AT CANOPY - MATCH EXISTING
9	NEW ALUMINUM AWNING WITH THREE HANGERS

COORDINATION NOTES:	
1.	ELECTRICAL AND MECHANICAL DRAWINGS SHALL TAKE PRECEDENCE OVER ARCHITECTURAL RELATED MECHANICAL AND ELECTRICAL DRAWINGS. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ARCHITECTURAL DRAWINGS WITH ELECTRICAL AND MECHANICAL DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF JEFFERSON BROWNE GRESHAM ARCHITECTS PRIOR TO ORDERING, FABRICATION OR INSTALLATION.
2.	SEE ELECTRICAL DRAWINGS FOR EMERGENCY LIGHTING STROBES, J-BOXES, EL. OUTLETS.
3.	SEE MECHANICAL DRAWINGS FOR AIR SUPPLY & RETURN DIFFUSERS. COORDINATE WITH LIGHTS SHOWN.

ACOUSTICAL TILE AND GRID SPECIFICATION:	
CEILING TILE (OR APPROVED EQUAL): 2X2 OR 2X4 ARMSTRONG - DUNE - REGULAR EDGE GRID: 1/2" - WHITE	
GYPSUM SOFFIT SPECIFICATION:	
ARMSTRONG SUSPENDED SYSTEM: SHORTSPAN FRAMING SYSTEM, QUICKSTIX SYSTEM (OR APPROVED EQUAL)	

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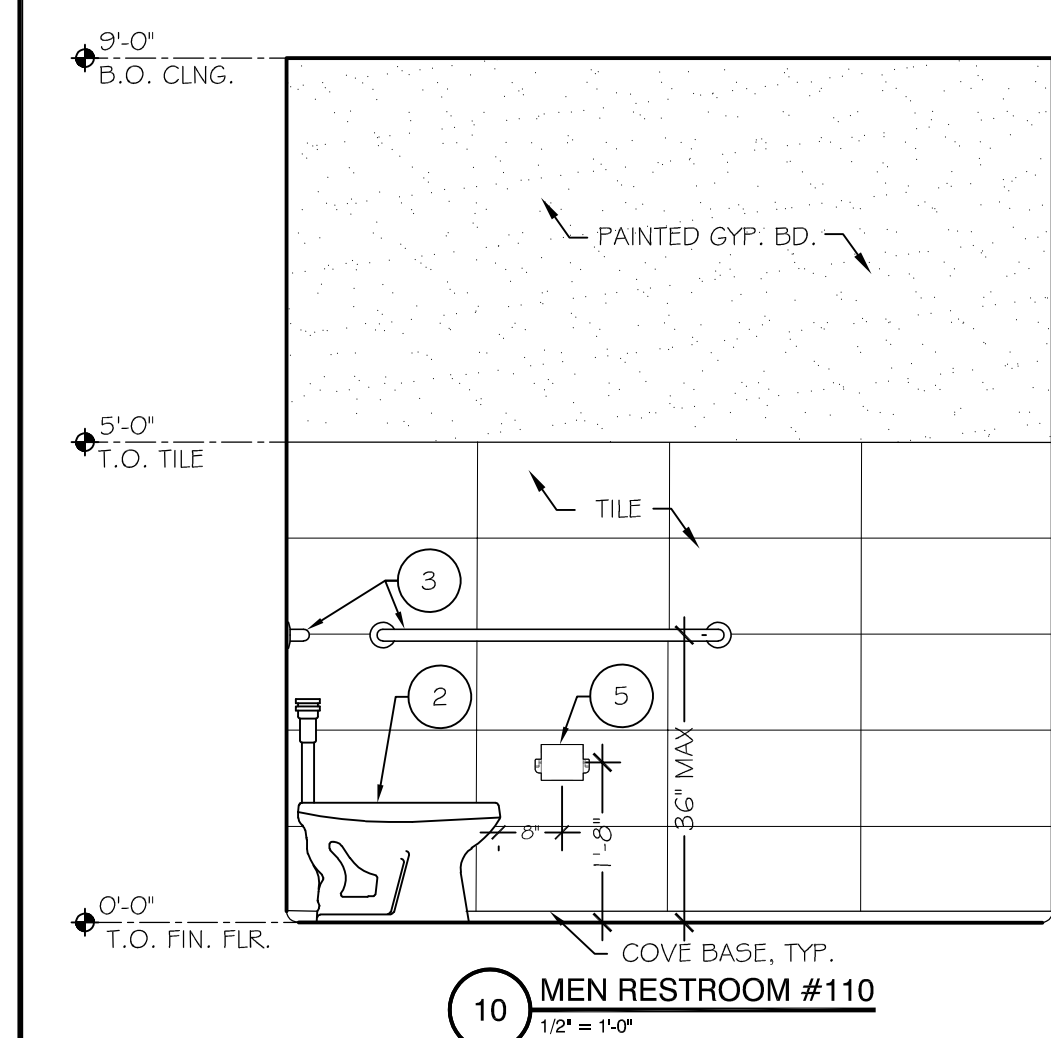
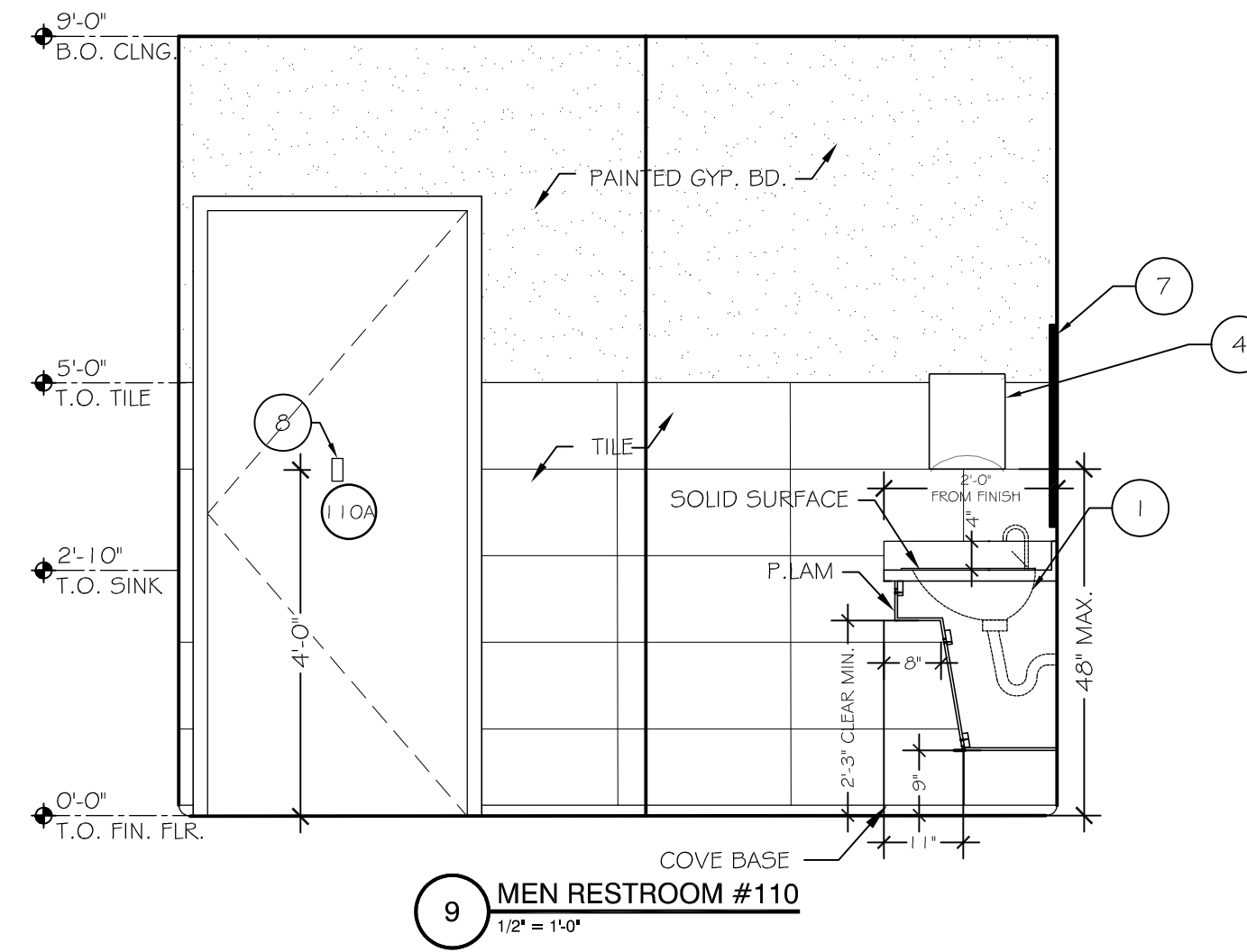
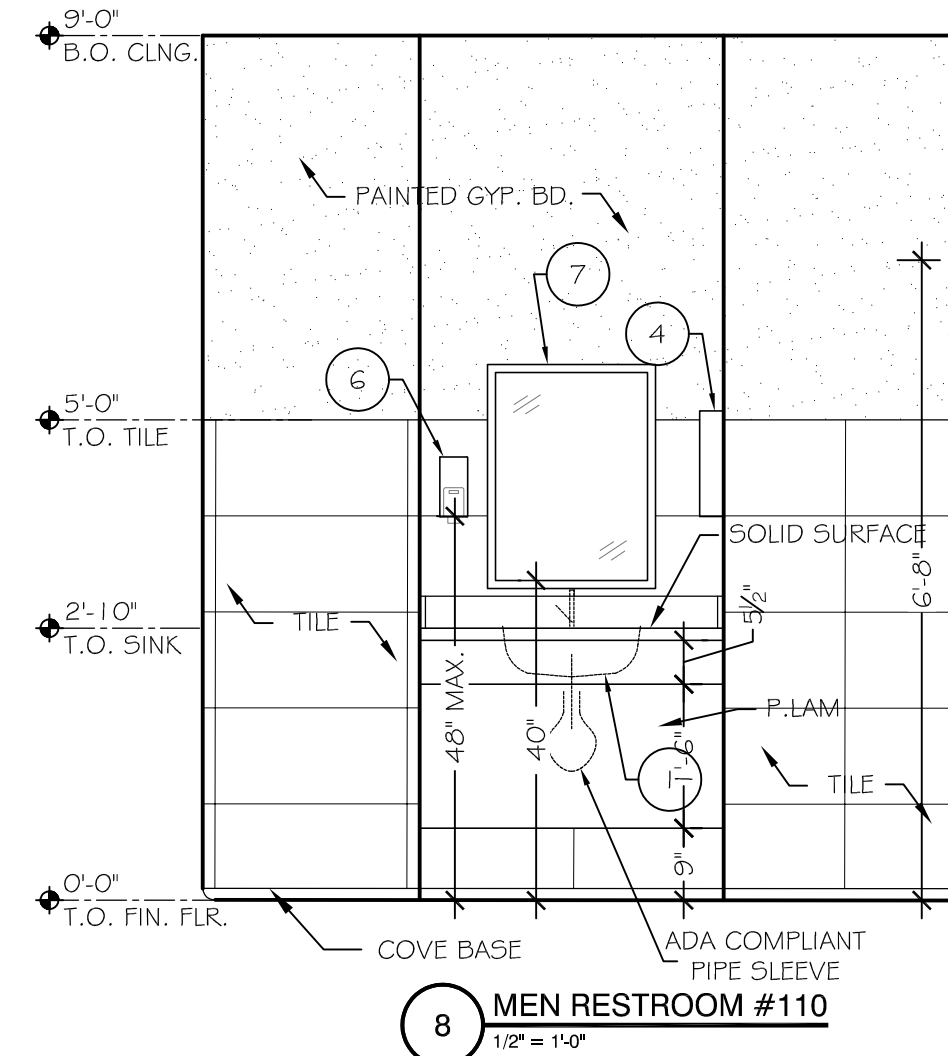
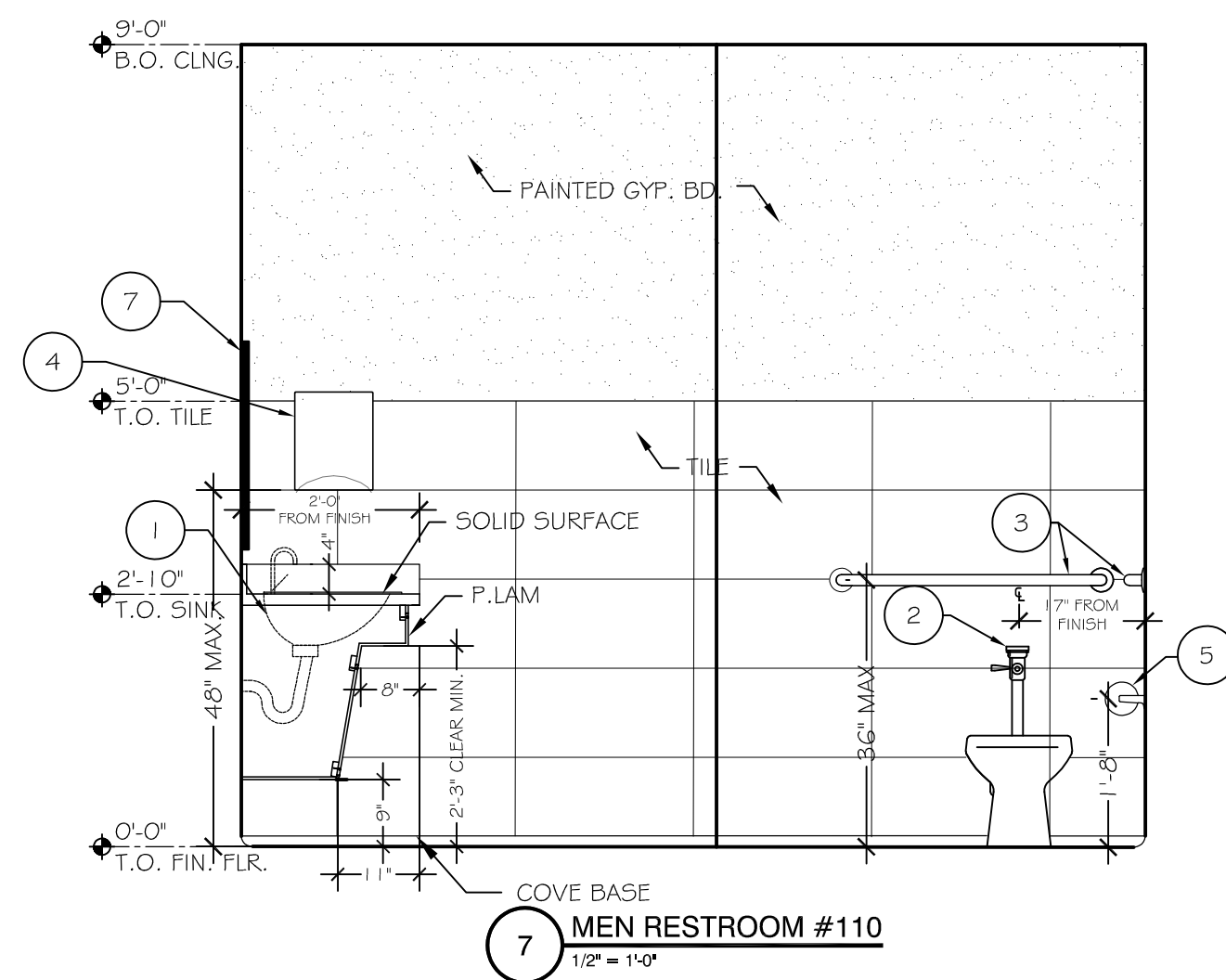
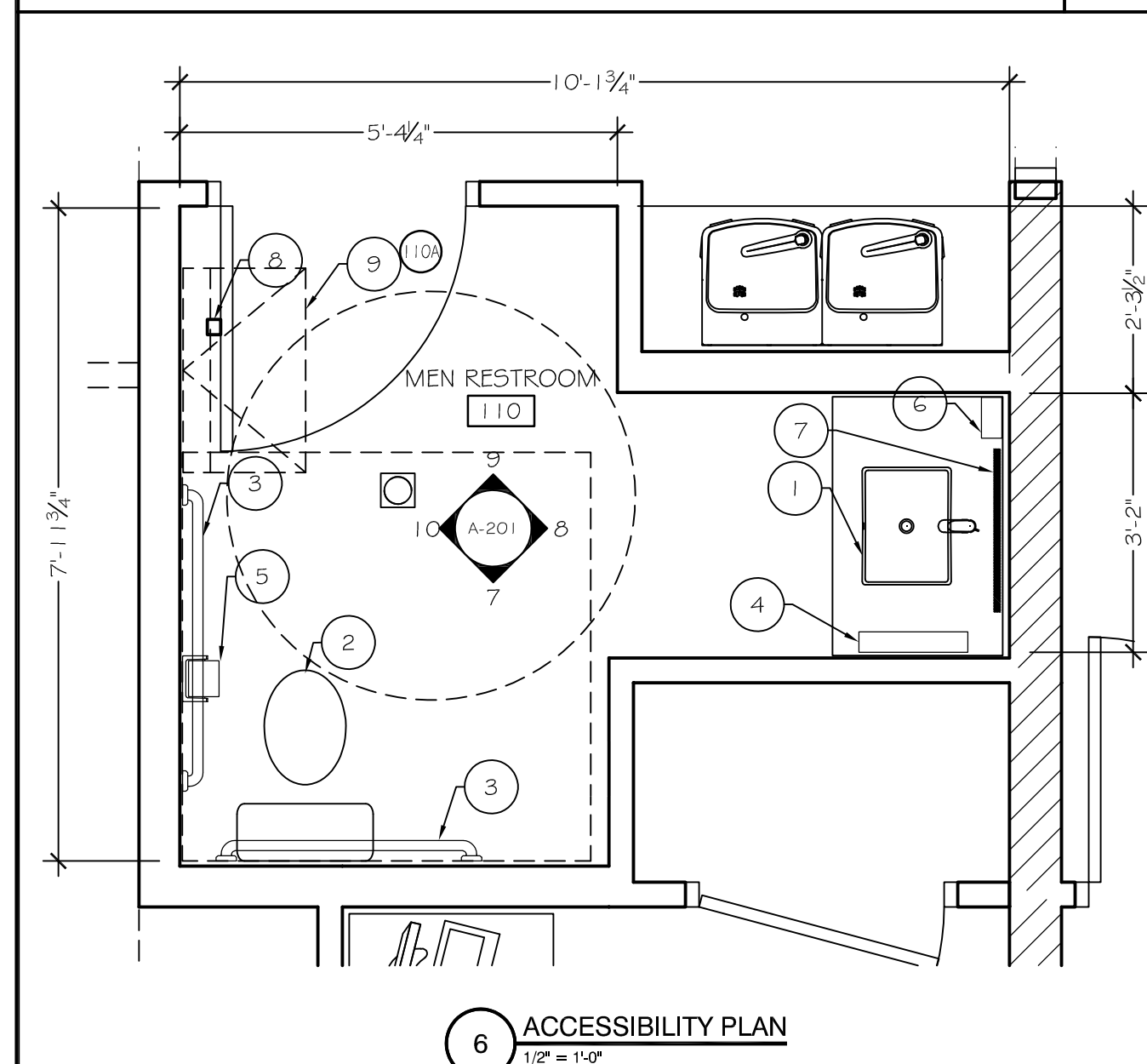
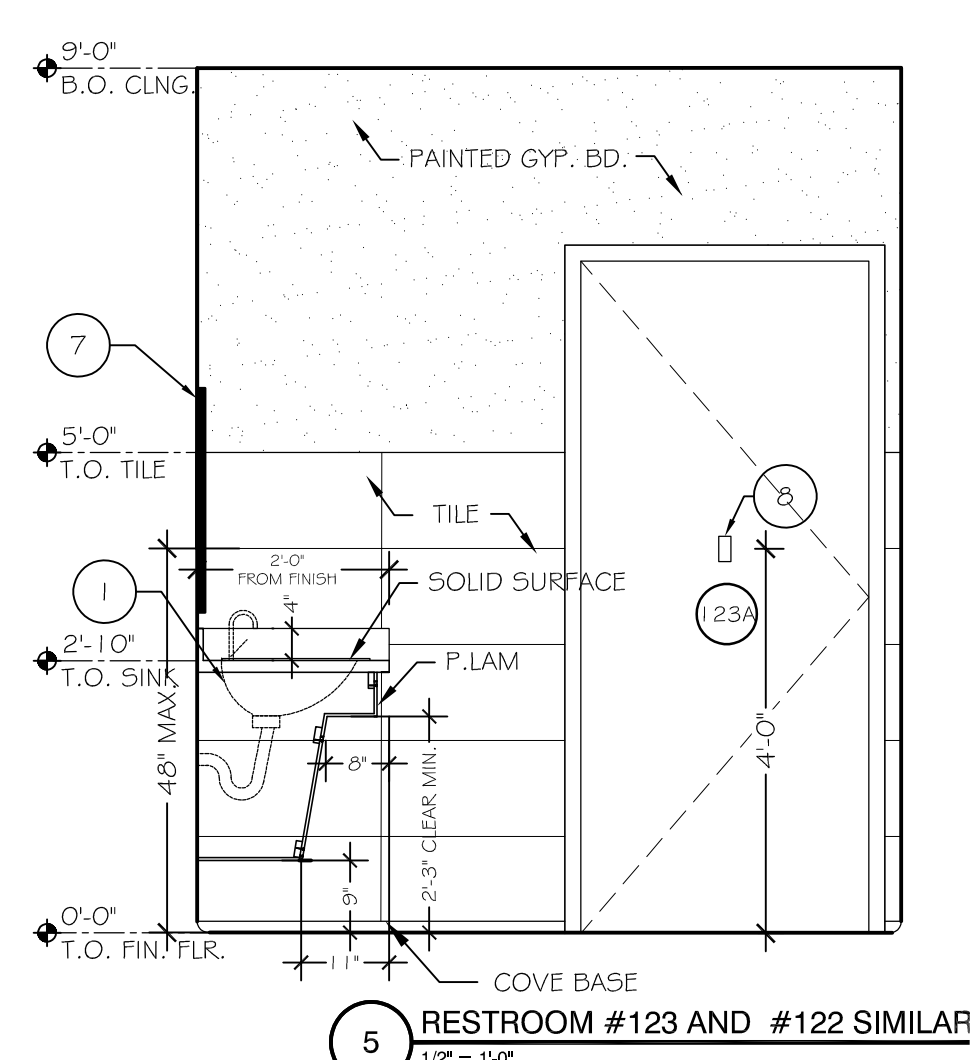
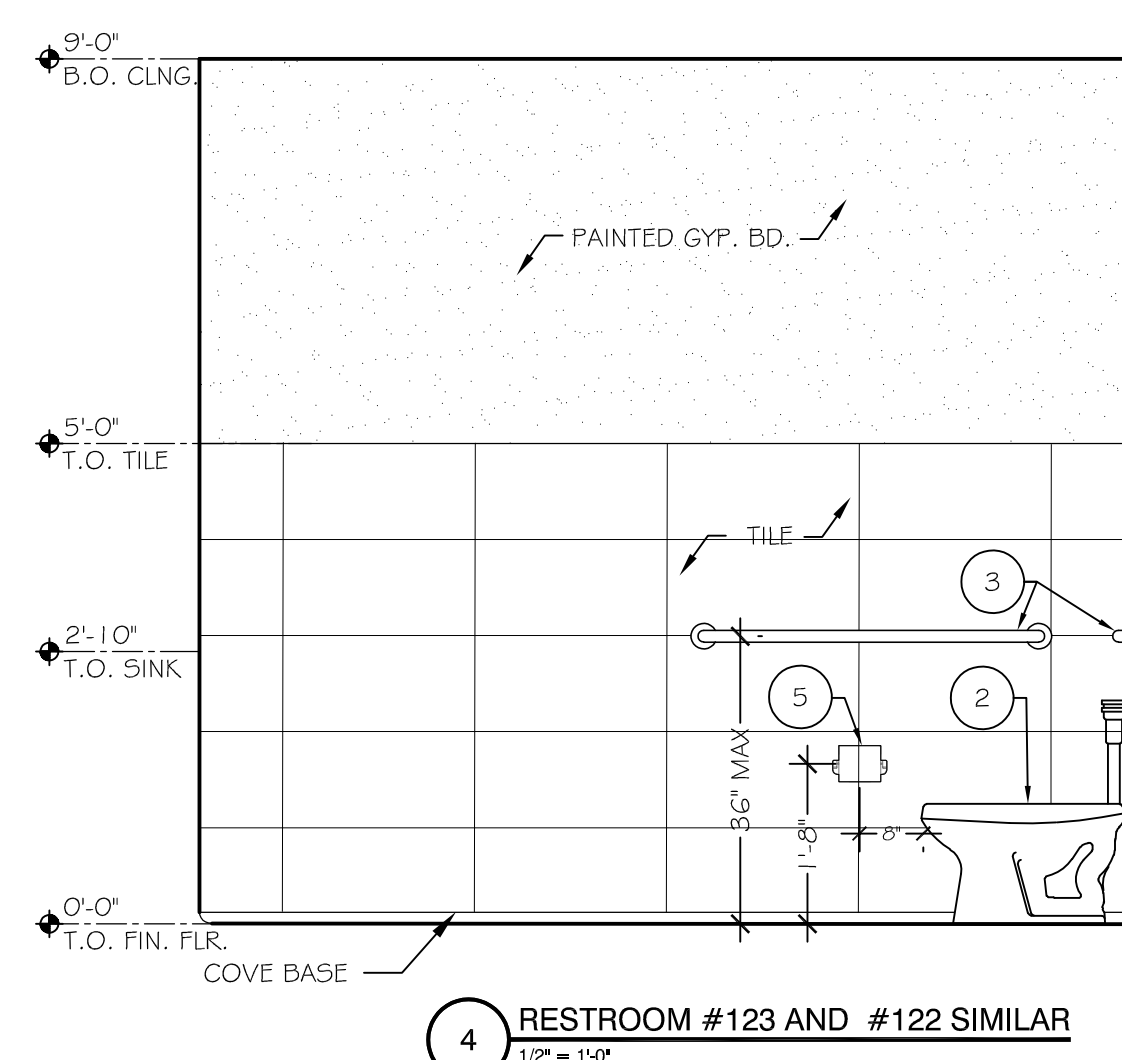
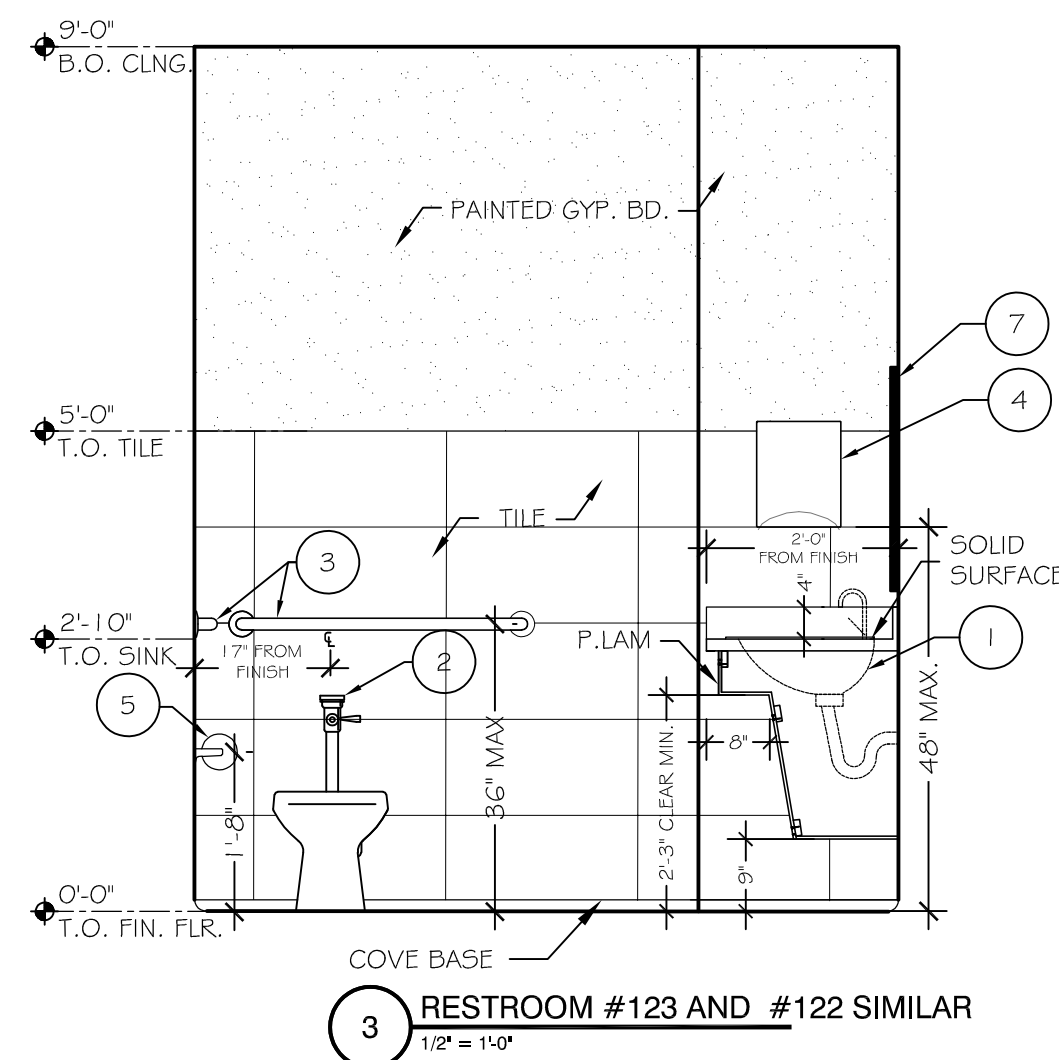
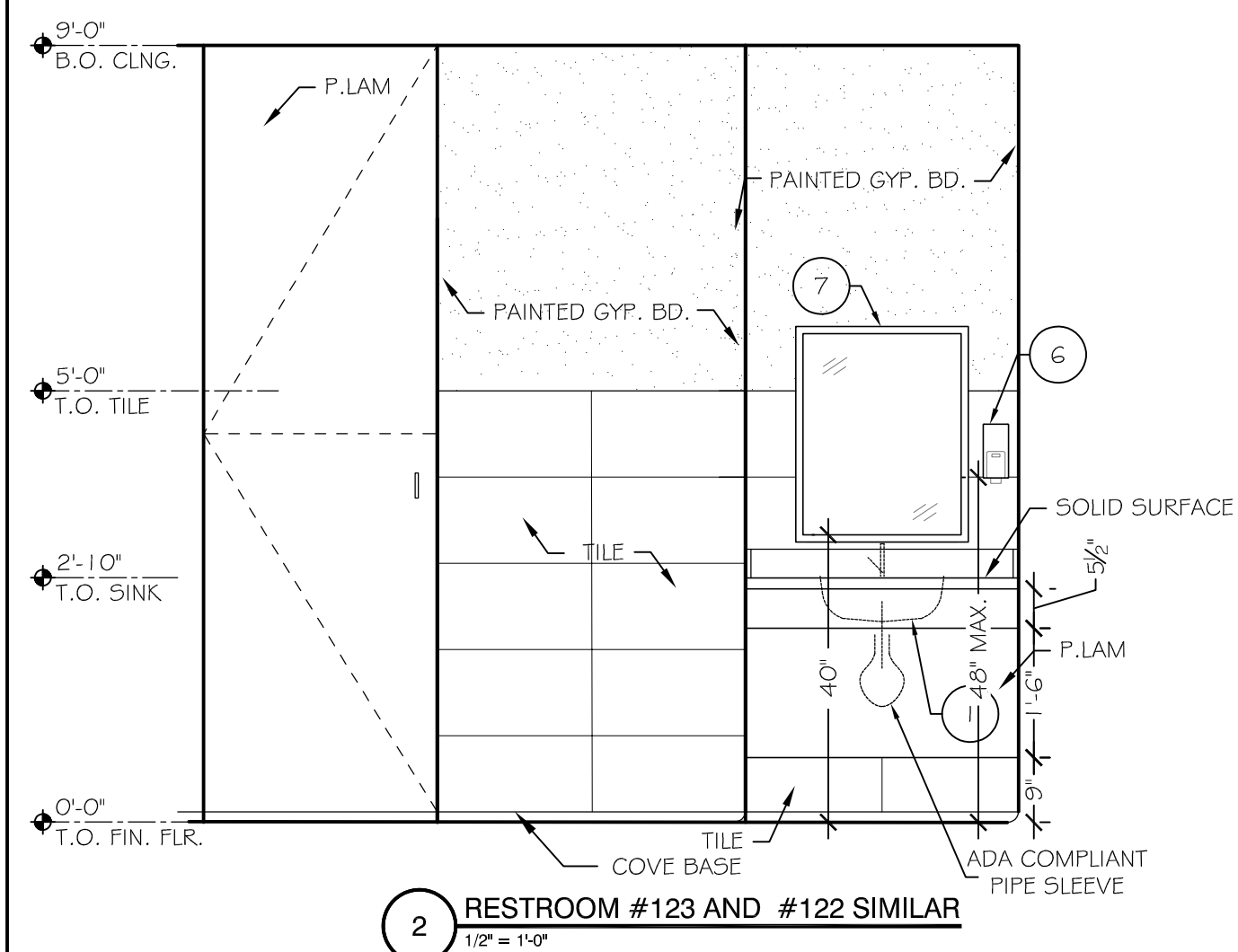
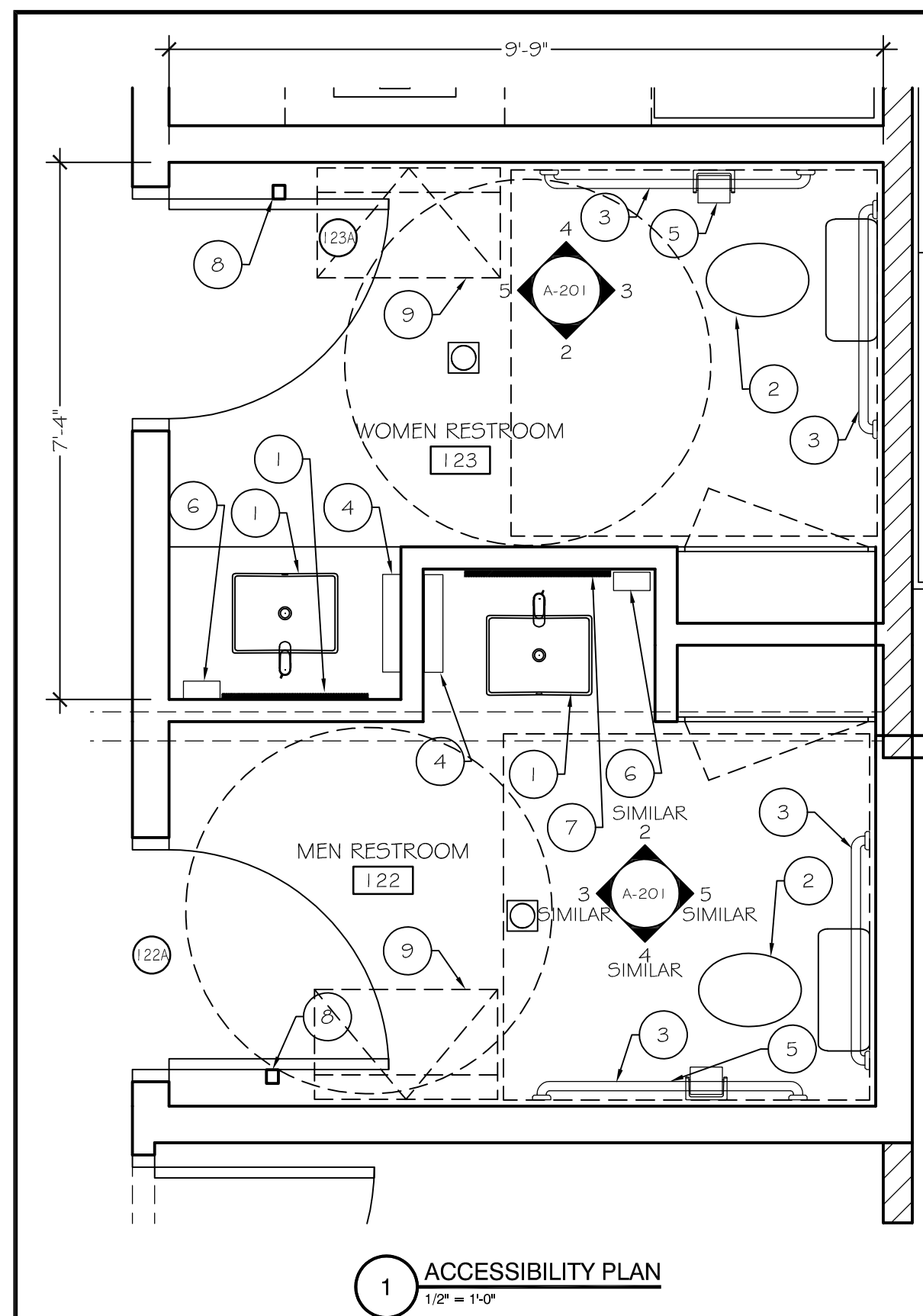
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175 JOHNSON AVENUE
FAYETTEVILLE, 30214 GEORGIA
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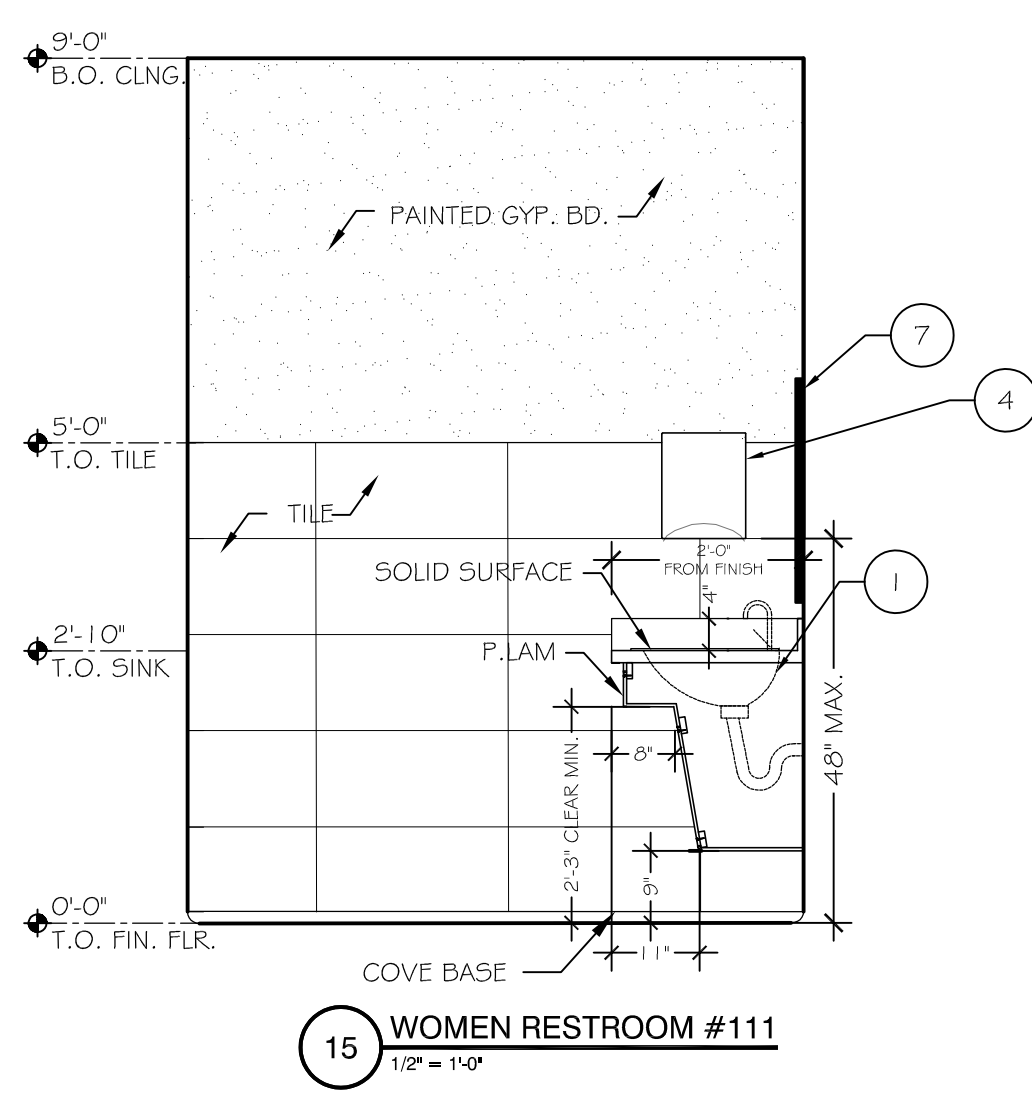
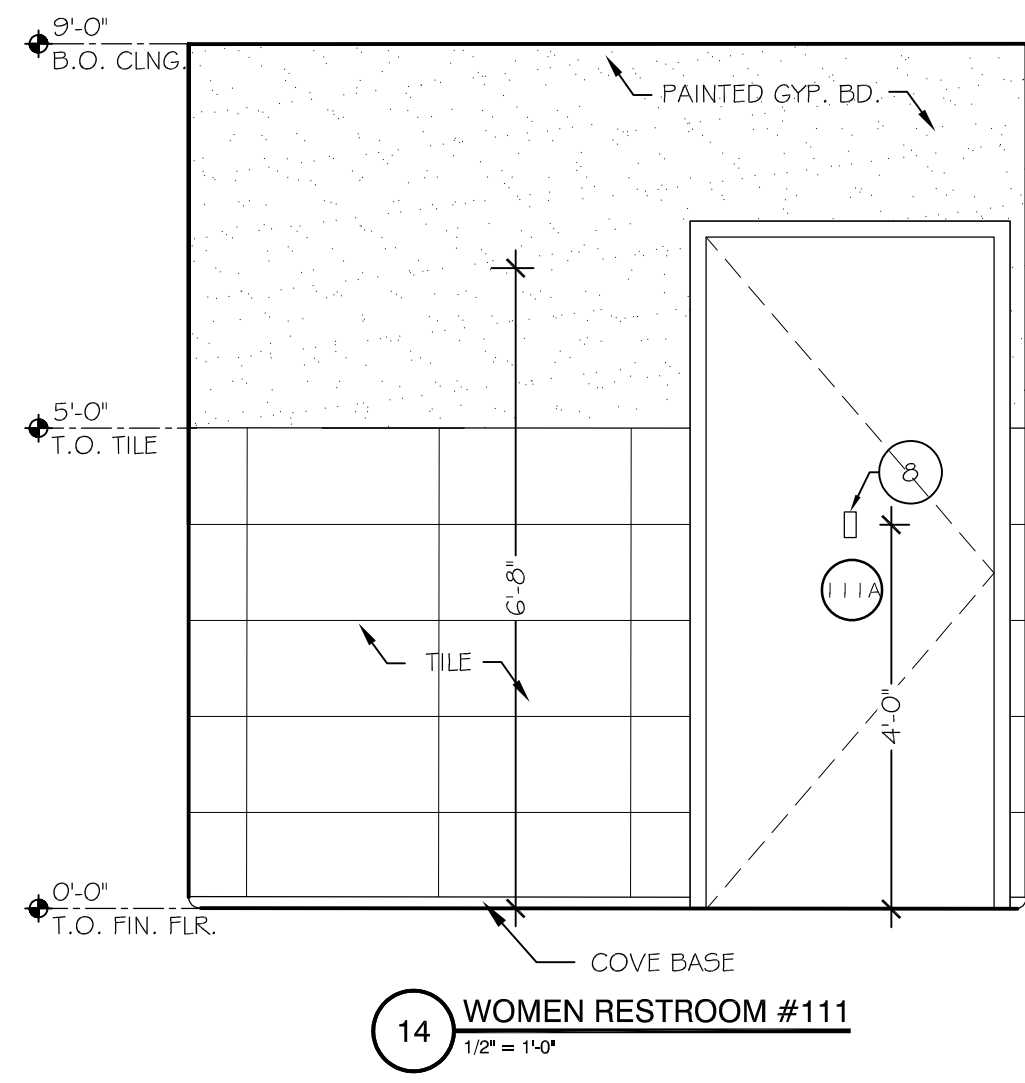
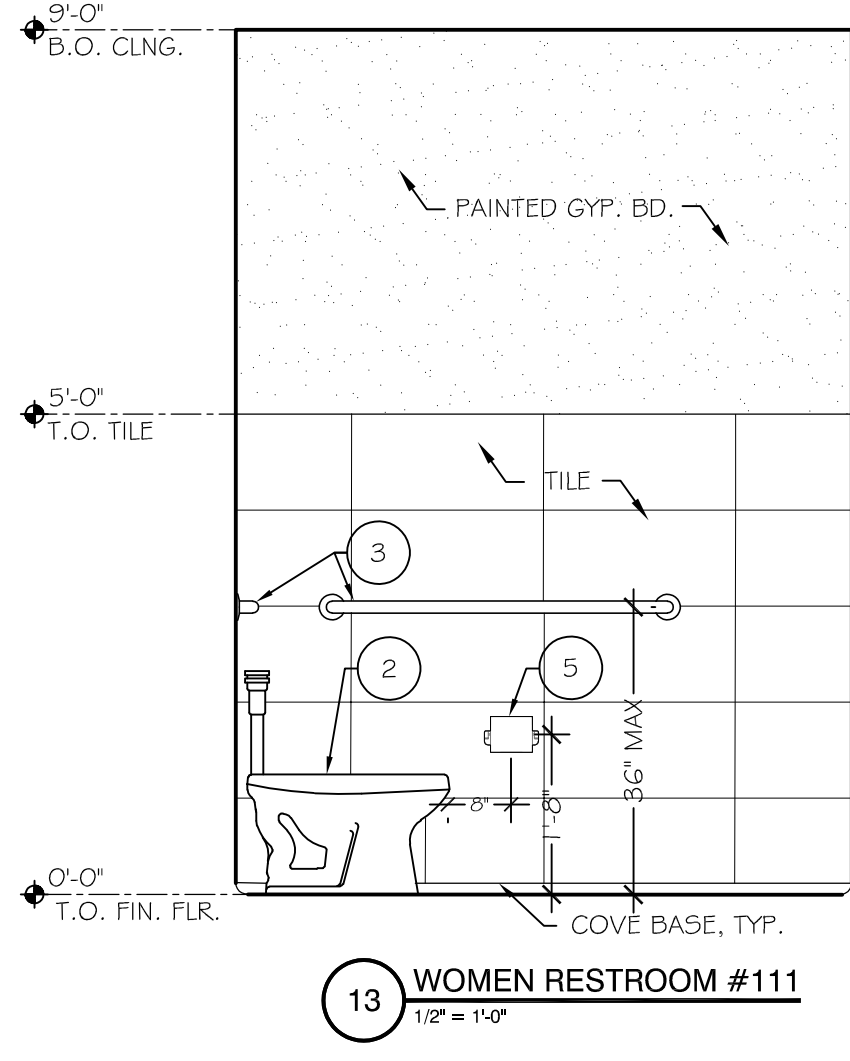
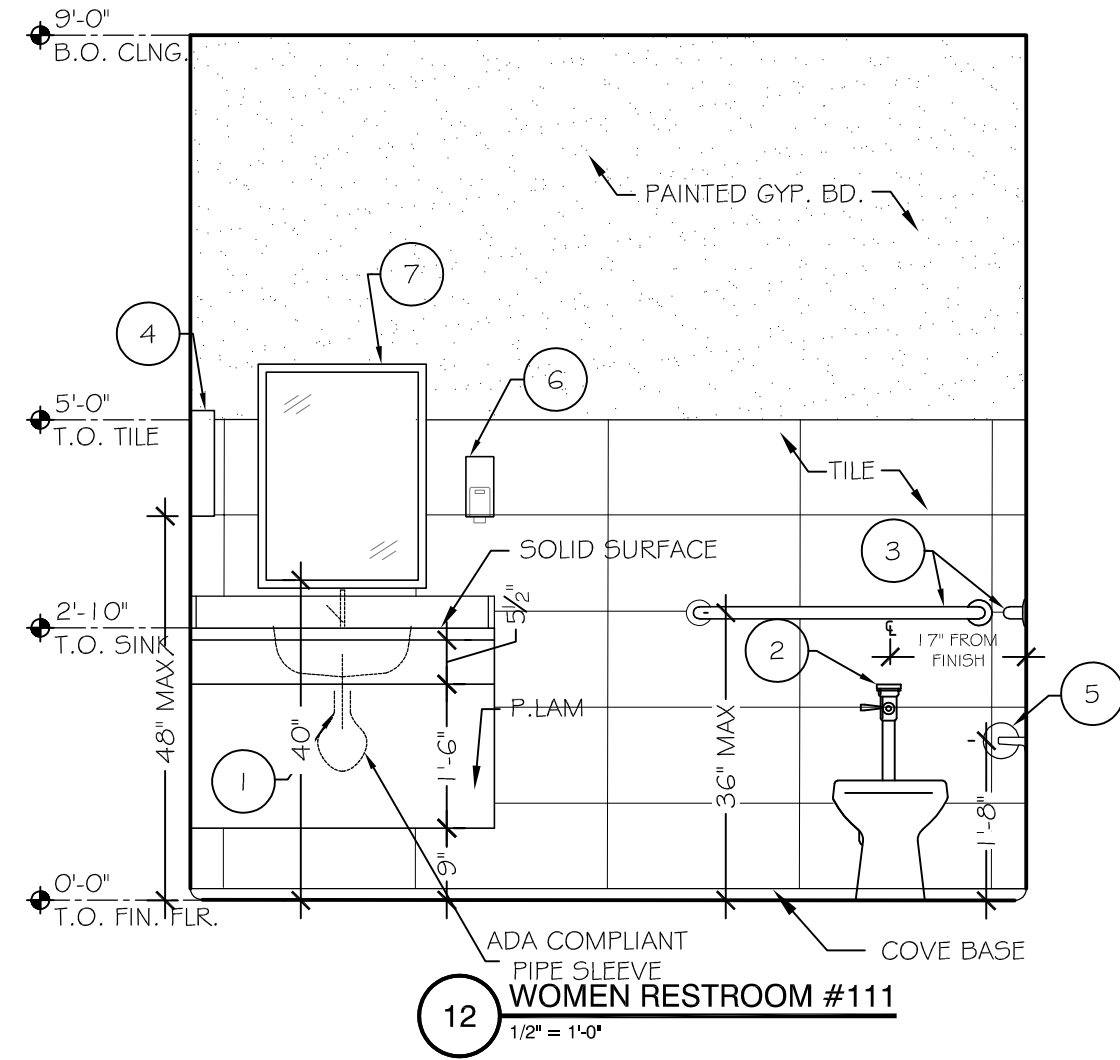
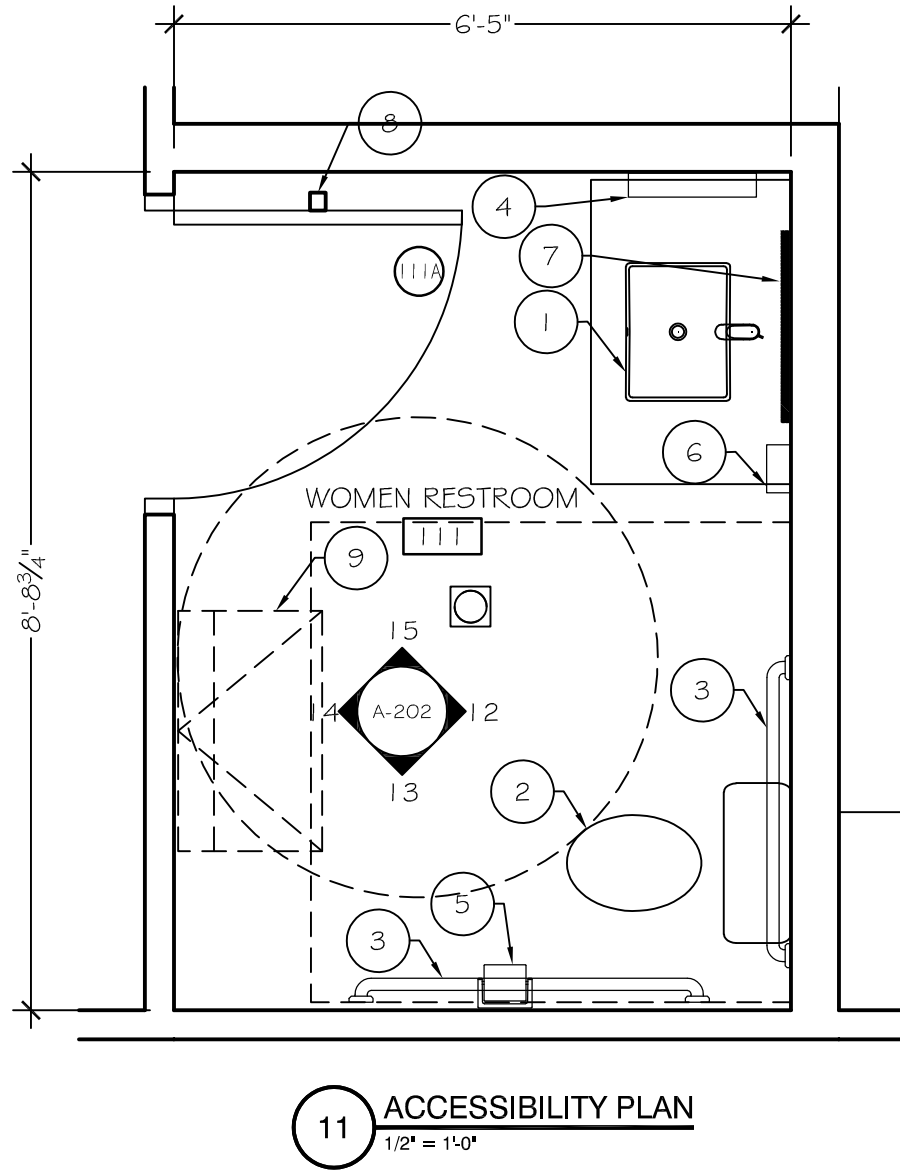
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Drawn By: SKLEO
Checked By: PLG
PROJECT # 21-3142
A-102



FIXTURE MOUNTING HEIGHT SCHEDULE	
1	<p>VANITIES (MEASURED FROM FLOOR TO RIM) SEE DETAILS 1A-201</p> <p>A. ADULTS HANDICAPPED = 34" = 34" MAX. (27" MIN. KNEE SPACE)</p>
2	<p>WATER CLOSETS (MEASURED FROM FLOOR TO TOP OF SEAT) SEE DETAILS 15A-201</p> <p>A. ADULTS HANDICAPPED = 15" = 17" TO 19"</p>
3	<p>HANDICAPPED GRAB BARS (MEASURED FROM FLOOR TO CENTERLINE OF BAR) SEE DETAILS 15A-201 + 16A-201</p> <p>A. ADULTS = 34 TO 36"</p>
4	<p>PAPER TOWEL DISPENSER (MEASURED FROM FLOOR TO TOWEL SLOT) SEE DETAILS 8A-201</p> <p>A. ADULTS = 40 TO 48"</p>
5	<p>TOILET TISSUE DISPENSER (MEASURED FROM FLOOR TO CENTERLINE OF ROLL) SEE DETAILS 17A-201</p> <p>A. ADULTS = 20"</p>
6	<p>SOAP DISPENSER (MEASURED FROM FLOOR TO CENTERLINE OF PUSH BUTTON) SEE DETAILS 8A-201</p> <p>A. ADULTS = 38" HANDICAPPED = 38"</p>
7	<p>MIRRORS (MEASURED FROM FLOOR TO BOTTOM OF REFLECTING SURFACE) SEE DETAILS 4A-201</p> <p>A. ADULTS = 40"</p>
8	<p>COAT HOOK MAX. HEIGHT ABOVE F.F. OF 48" FOR FORWARD APPROACH MAX. HEIGHT ABOVE F.F. OF 54" FOR SIDE APPROACH</p>
9	<p>BABY CHANGING STATION: KOALA KARE KB 100-01 GRAY OR EQUAL. INSTALL WITH LEADING EDGE 27" AFF WHEN UNFOLDED PROHIBIT BLOCKING IN WALL PER MNF. WRITTEN INSTRUCTIONS</p>

NOTES

1. REFER TO ACCESSIBILITY DETAILS SHEET A-201 FOR ACCESSORIES MOUNTING HEIGHTS.
2. DIMENSIONS SHOWN ARE TO WALL METAL FRAMING.
3. PRIVACY PARTITIONS TO BE TEXTURED STAINLESS STEEL AND FLOOR SUPPORTED.



FIXTURE MOUNTING HEIGHT SCHEDULE	
1 LAVATORIES (MEASURED FROM FLOOR TO RIM) SEE DETAILS 1A-201 A. ADULTS = 32" HANDICAPPED = 34" MAX. (27" MIN. KNEE SPACE)	
2 WATER CLOSETS (MEASURED FROM FLOOR TO TOP OF SEAT) SEE DETAILS 15A-201 A. ADULTS = 15" HANDICAPPED = 17" TO 19"	
3 HANDICAPPED GRAB BARS (MEASURED FROM FLOOR TO CENTERLINE OF BAR) SEE DETAILS 15A-201 & 16A-201 A. ADULTS = 34 TO 36"	
4 PAPER TOWEL DISPENSER (MEASURED FROM FLOOR TO TOWEL SLOT) SEE DETAILS 8A-201 A. ADULTS = 40 TO 48"	
5 TOILET TISSUE DISPENSER (MEASURED FROM FLOOR TO CENTERLINE OF ROLL) SEE DETAILS 17A-201 A. ADULTS = 20"	
6 SOAP DISPENSER (MEASURED FROM FLOOR TO CENTERLINE OF PUSH BUTTON) SEE DETAILS 8A-201 A. ADULTS = 38" HANDICAPPED = 39"	
7 MIRRORS (MEASURED FROM FLOOR TO BOTTOM OF REFLECTING SURFACE) SEE DETAILS 4A-201 A. ADULTS = 40"	
8 COAT HOOK MAX. HEIGHT ABOVE F.F. OF 48" FOR FORWARD APPROACH MAX. HEIGHT ABOVE F.F. OF 54" FOR SIDE APPROACH	
9 BABY CHANGING STATION: KOALA KARE KB 100-01 GRAY OR EQUAL INSTALL WITH LEADING EDGE 27" AFF WHEN UNFOLDED PROVIDE BLOCKING IN WALL PER MNF. WRITTEN INSTRUCTIONS	
NOTES	
1. REFER TO ACCESSIBILITY DETAILS SHEET A-201 FOR ACCESSORIES MOUNTING HEIGHTS.	
2. DIMENSIONS SHOWN ARE TO WALL METAL FRAMING.	
3. PRIVACY PARTITIONS TO BE TEXTURED STAINLESS STEEL AND FLOOR SUPPORTED.	

PRINT RECORD	
#	DESCRIPTION (DOT INDICATES SHEET WAS REVERSED)





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175 JOHNSON AVENUE
FAYETTEVILLE, 30214 GEORGIA
PROJECT #3142

PROJECT



FINAL DRAWING
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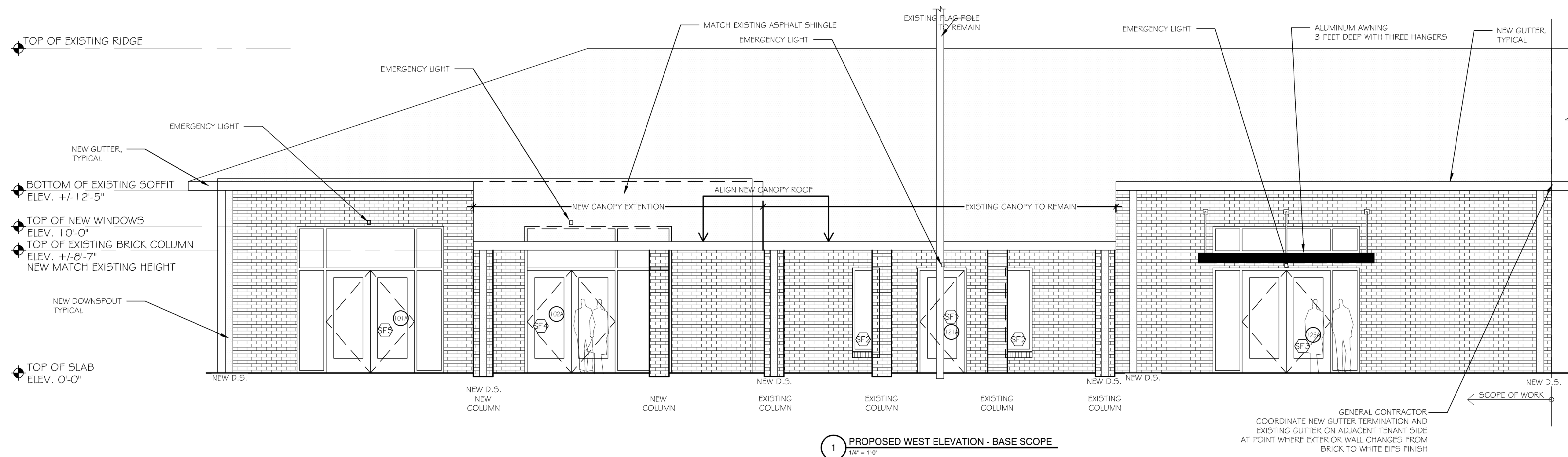
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EXTERIOR
ELEVATIONS -
BASE BID

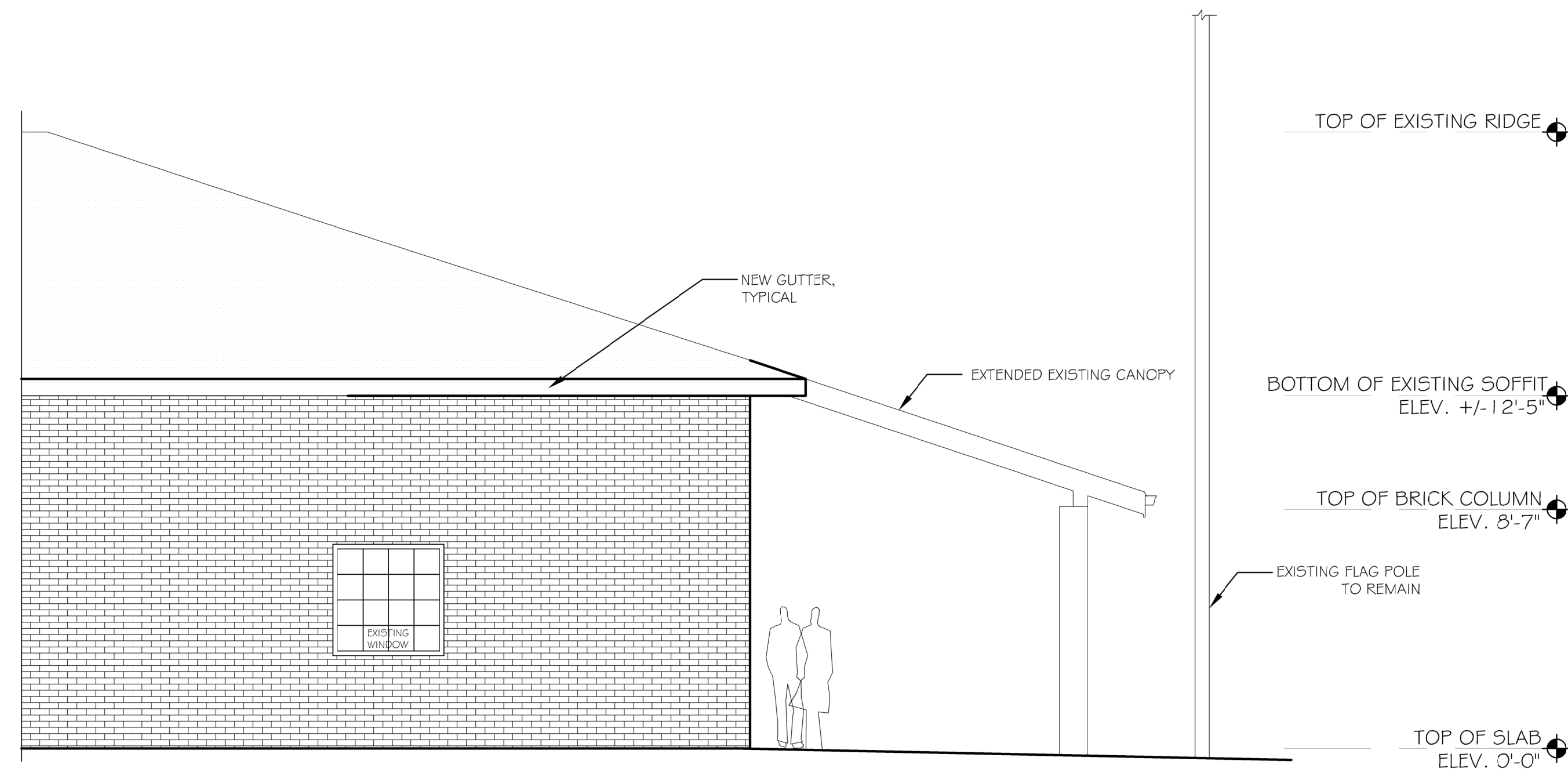
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SKEO	
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PROJECT #	
21-3142	



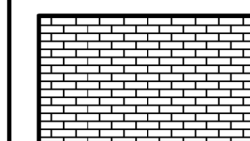
1 PROPOSED WEST ELEVATION - BASE SCOPE
1/4" = 1'-0"



2 CORNER NORTH ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH LEGEND

1. ALL STOREFRONT - DARK BRONZE FINISH
2. NEW GUTTERS AND DOWNSPOUTS DARK BRONZE FINISH



NEW BRICK TO MATCH EXISTING

SKEO
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PLG
PROJECT #
21-3142

A-301



3D RENDERINGS FOR GENERAL REFERENCE ONLY. REFER TO THE CONSTRUCTION DOCUMENTS FOR SPECIFIC DIRECTION.

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PEACHTREE CITY, GEORGIA 30909
770.638.9545
JEFFERSONBROWNEARCHITECTS.COM

PRINT RECORD	
#	DESCRIPTION

FAYETTE COUNTY ELECTIONS OFFICE
REMODEL
175 JOHNSON AVENUE
FAYETTEVILLE, 30214 GEORGIA
PROJECT #3142



FINAL DRAWING
FOR REVIEW PURPOSES ONLY
Release Date: May 25, 2021

3D RENDERING
BASE BID

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Checked By: PLG
PROJECT # 21-3142
A-301A



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PRINT RECORD	
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FAYETTE COUNTY ELECTIONS OFFICE
REMODEL
175 JOHNSON AVENUE
FAYETTEVILLE, 30214 GEORGIA
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PROJECT



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SKED

Checked By:

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21-3142

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PRINT RECORD

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FAYETTE COUNTY ELECTIONS OFFICE
REMODEL
175 JOHNSON AVENUE
FAYETTEVILLE, 30214 GEORGIA
PROJECT #3142

PROJECT



FINAL DRAWING
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Drawn By: SKEO

Checked By: PLG

PROJECT # 01-3149

A-301C

FAYETTE COUNTY ELECTIONS OFFICE
REMODEL
175 JOHNSON AVENUE
FAYETTEVILLE, 30214 GEORGIA
PROJECT #3142

175 JOHNSON AVENUE
FAYETTEVILLE, 30214 GEORGIA
PROJECT #3142

PROJECT



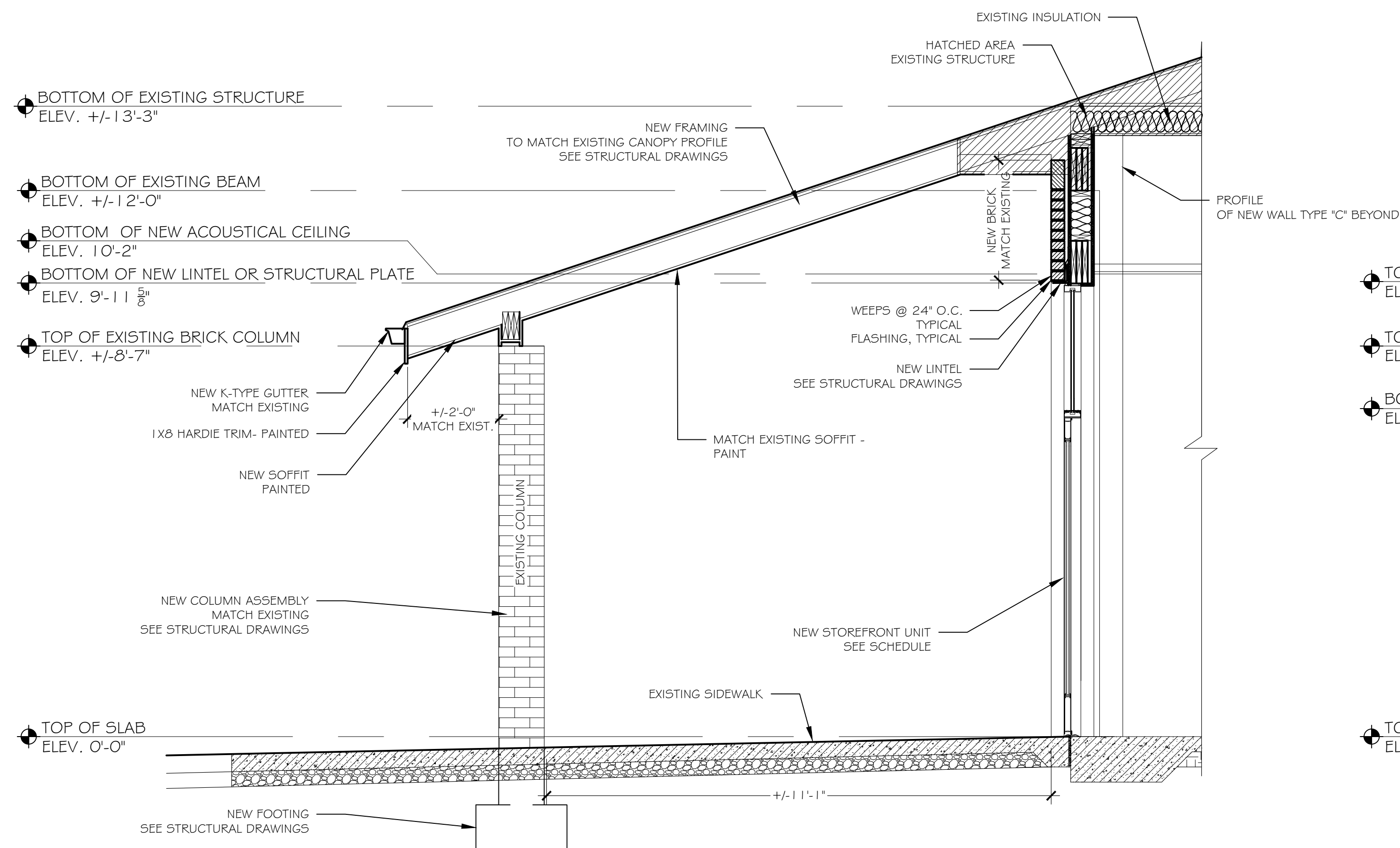
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SEA

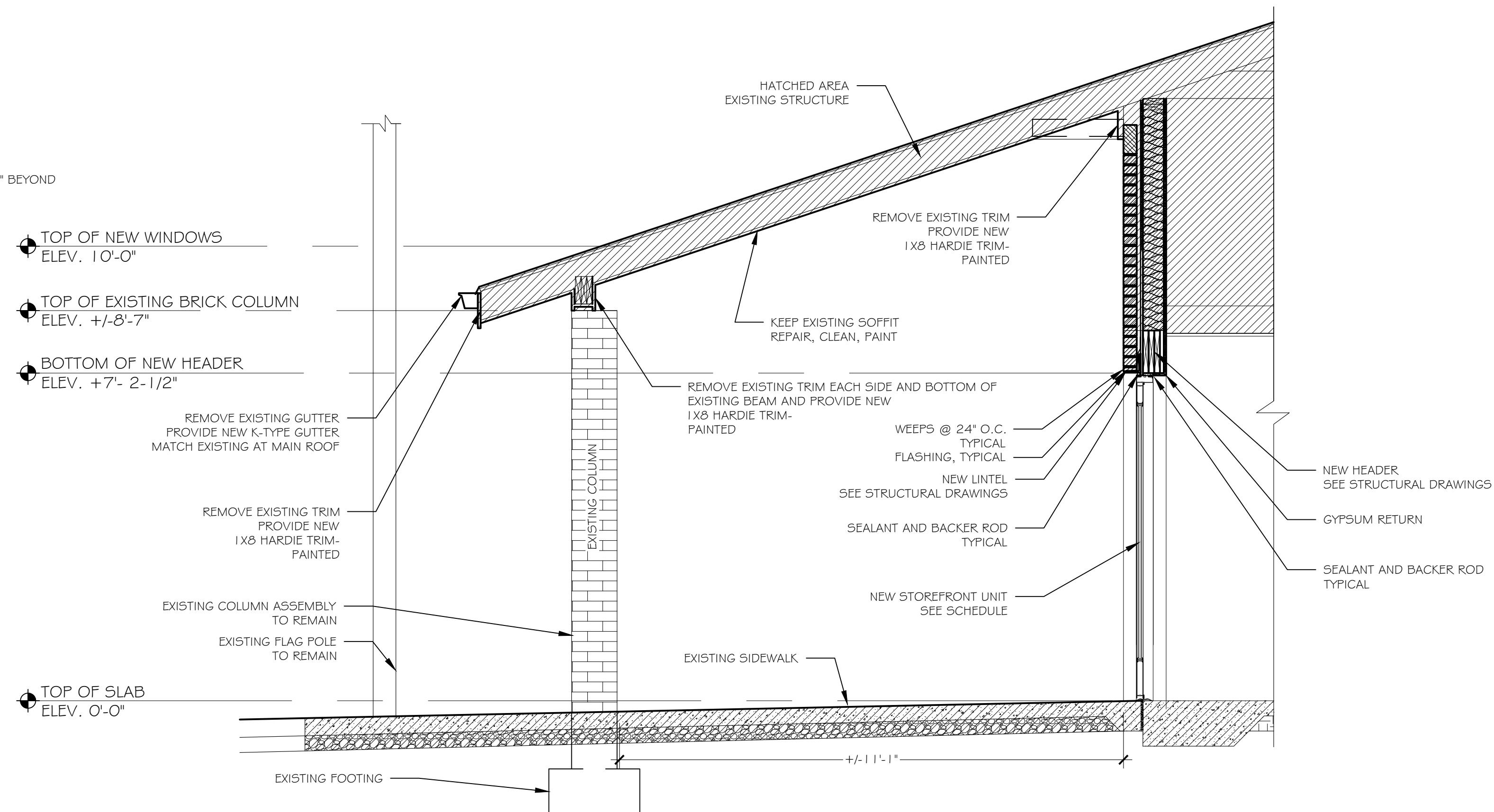
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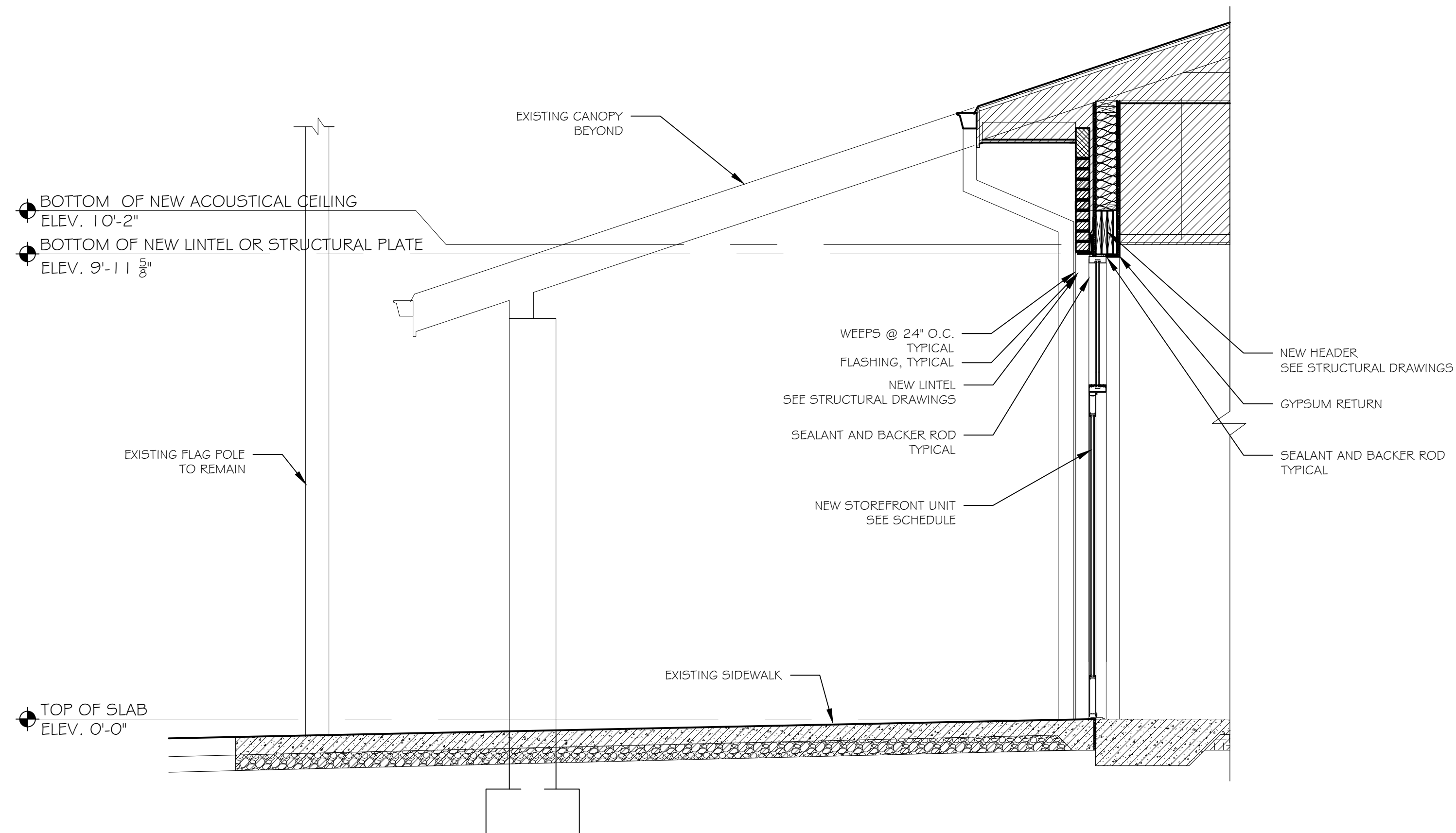
Drawn By: SK,EO
Checked By: PLG
PROJECT # 21-3142



1 SECTION
1/2" = 1'-0"



2 SECTION
1/2" = 1'-0"



3 SECTION
1/2" = 1'-0"

FAYETTE COUNTY ELECTIONS OFFICE
REMODEL
175 JOHNSON AVENUE
FAYETTEVILLE, 30214, GEORGIA
PROJECT #3142

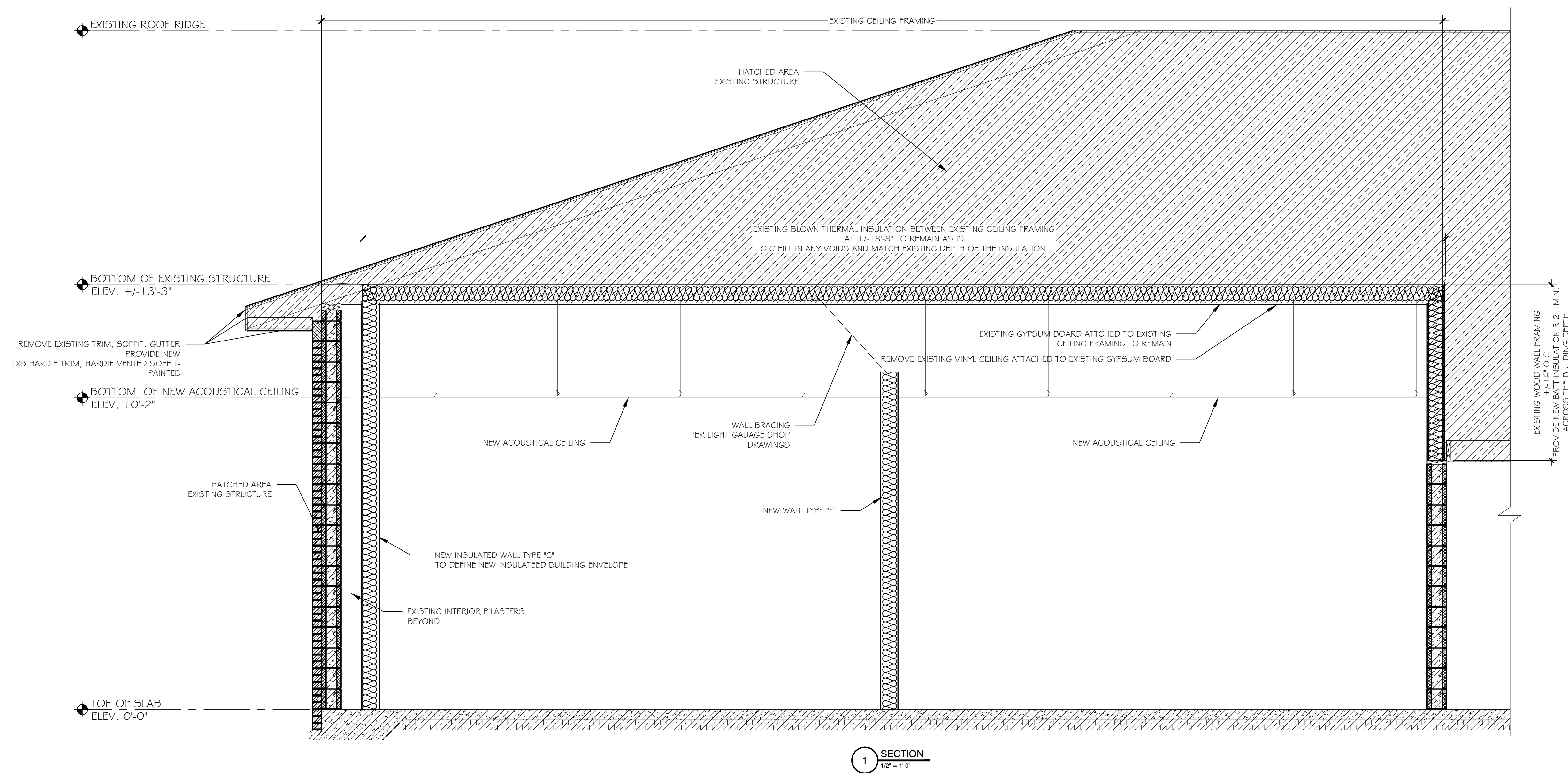


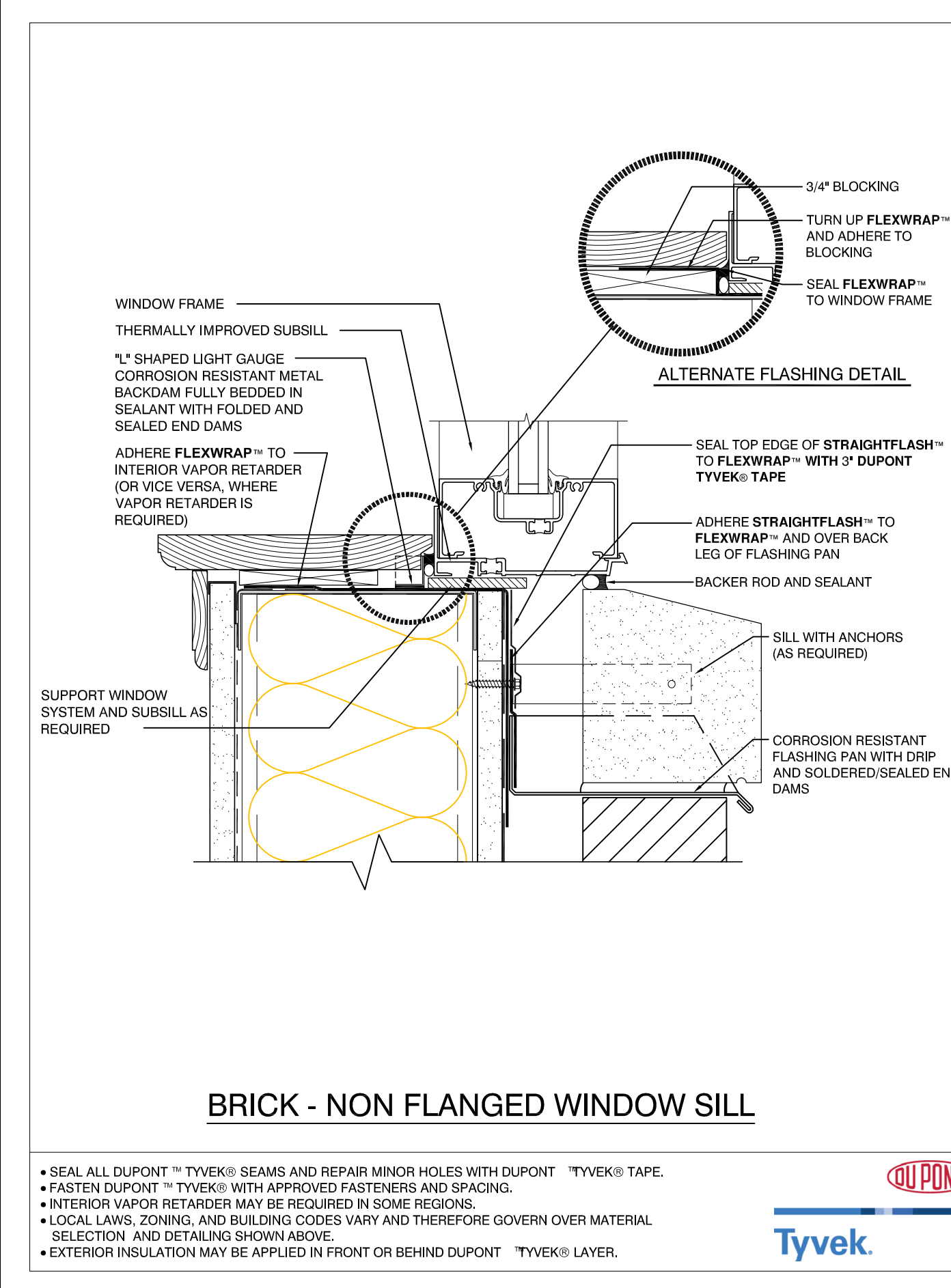
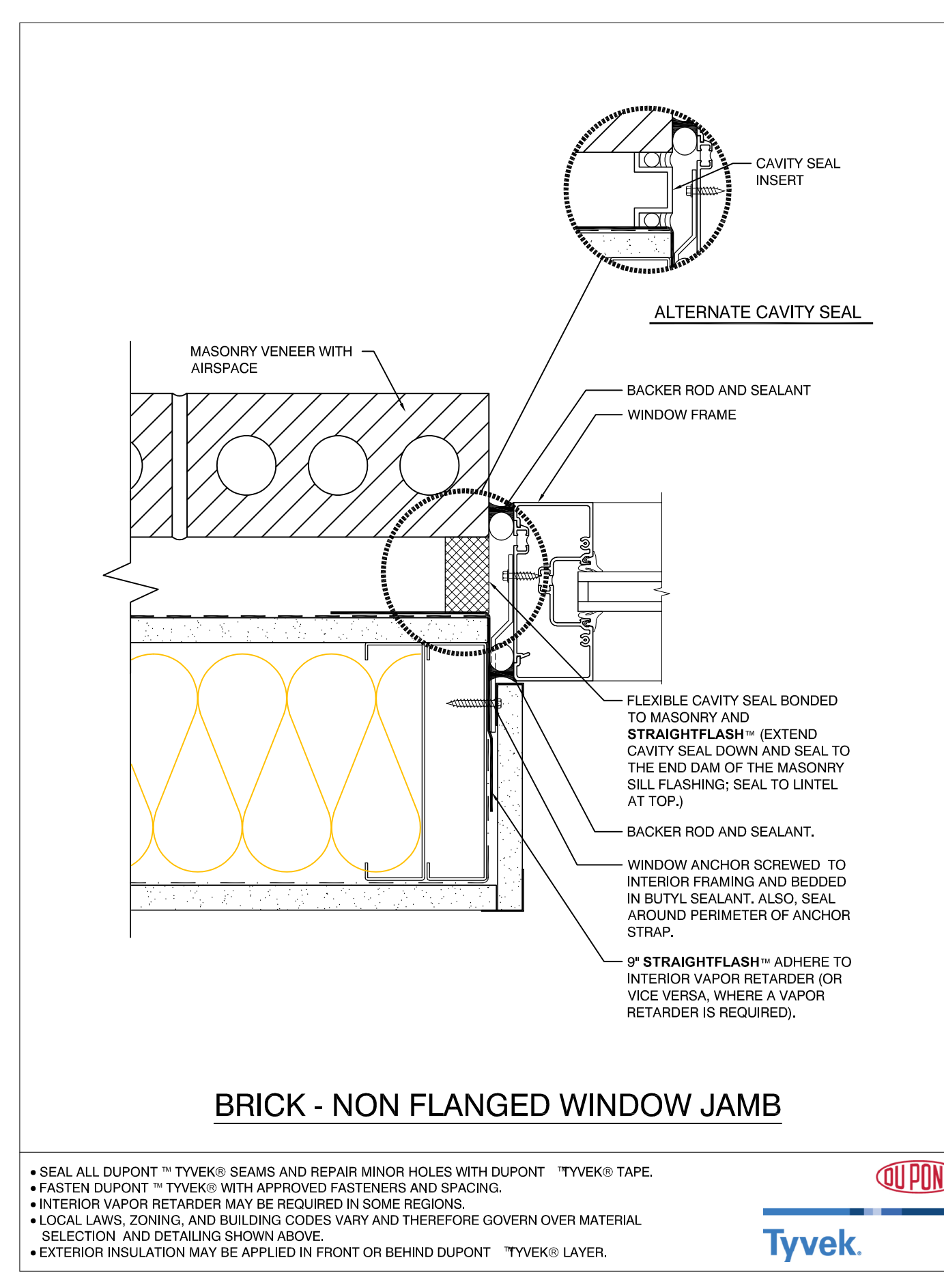
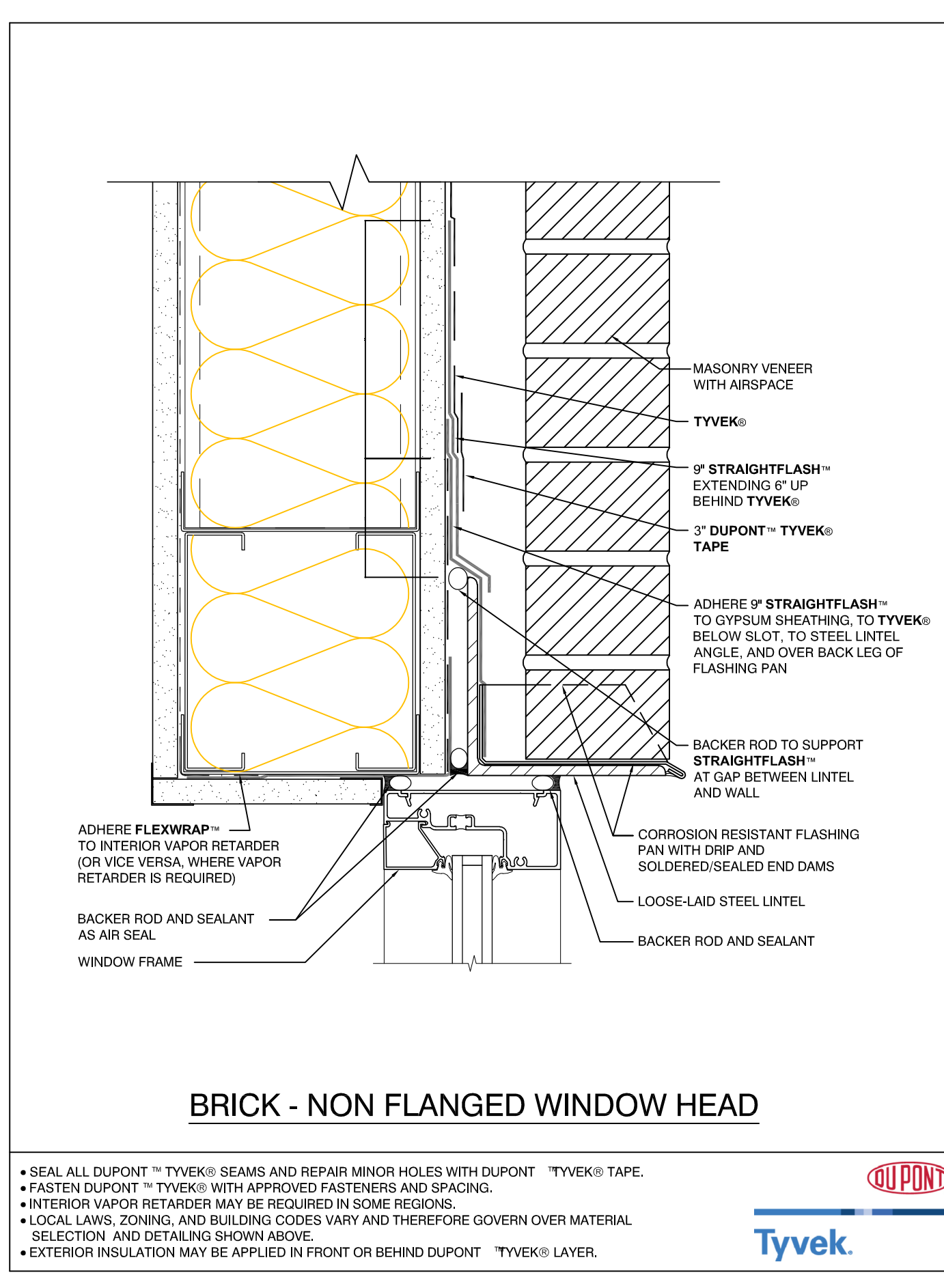
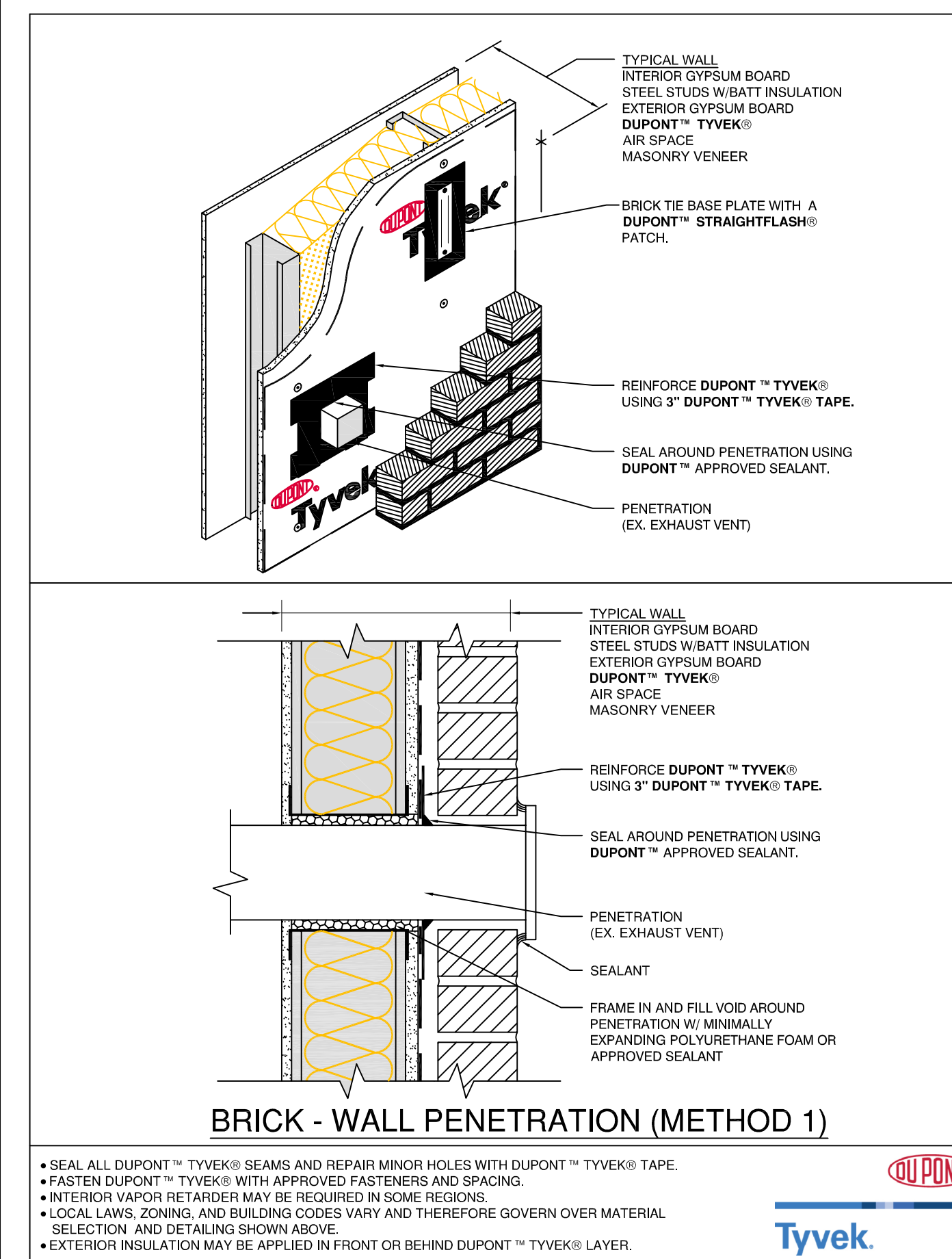
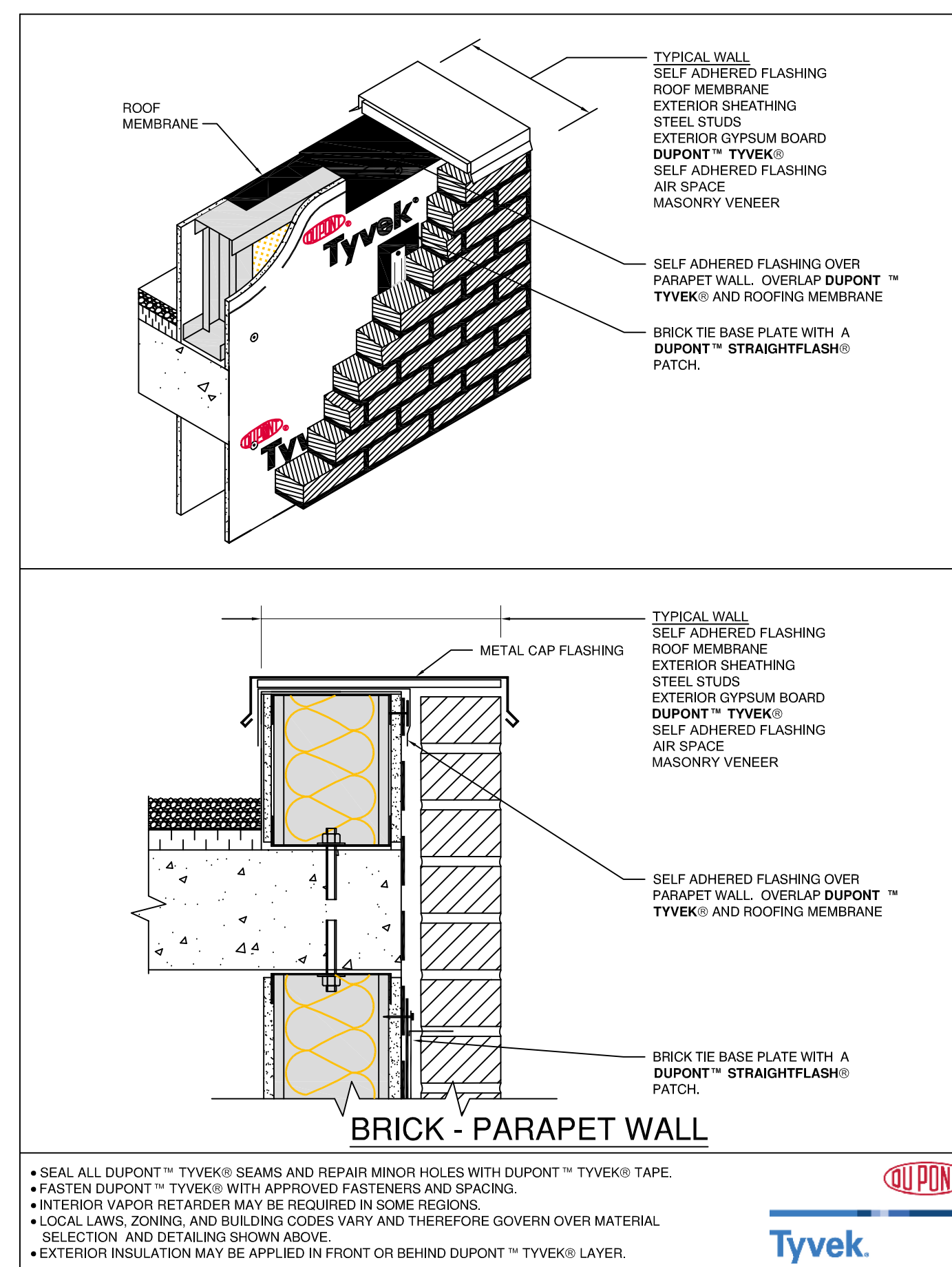
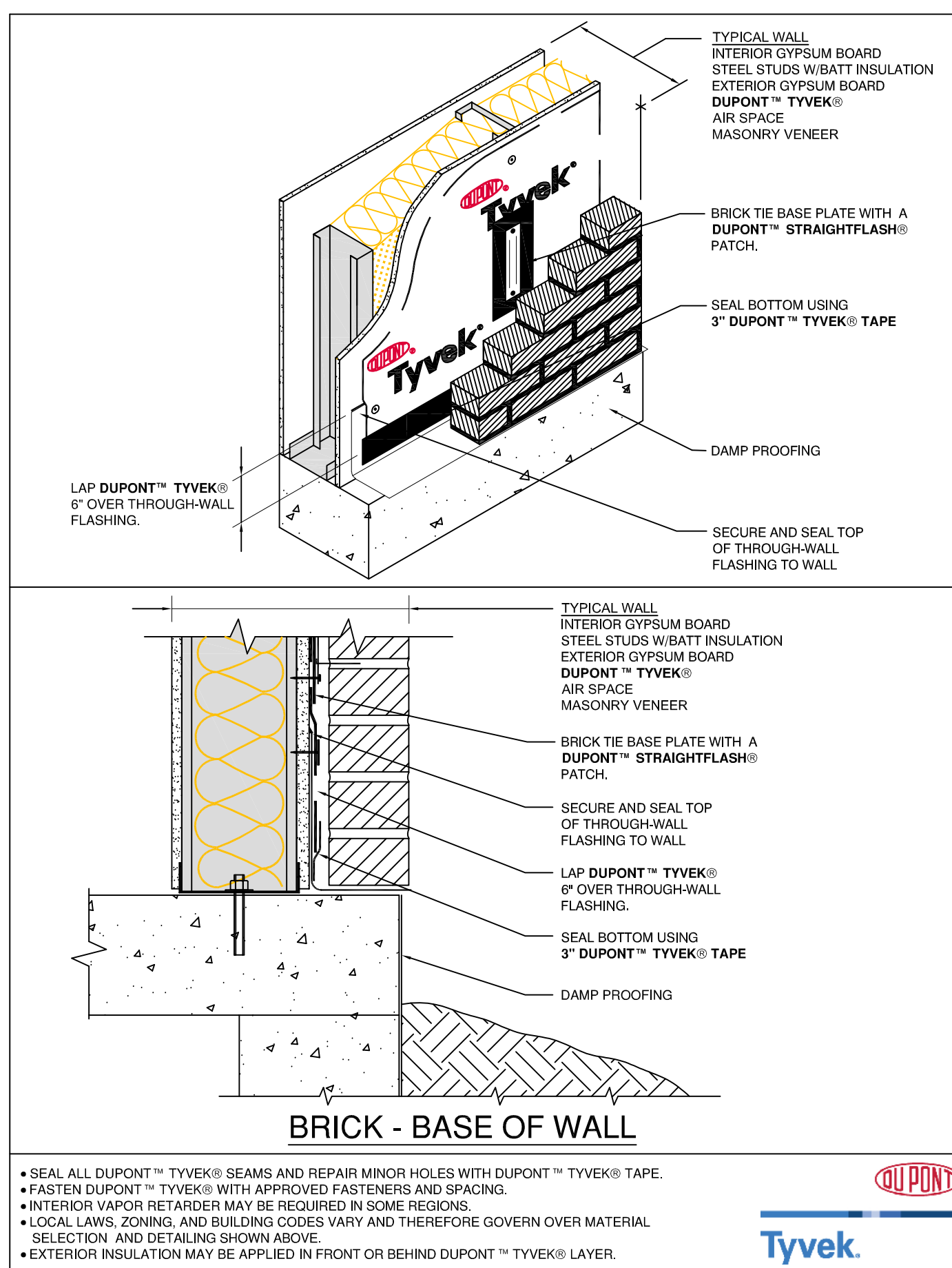
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SEAL

SECTION

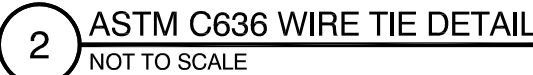
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SKETCHED	
Checked By:	
PUR	
PROJECT #	
21-3149	

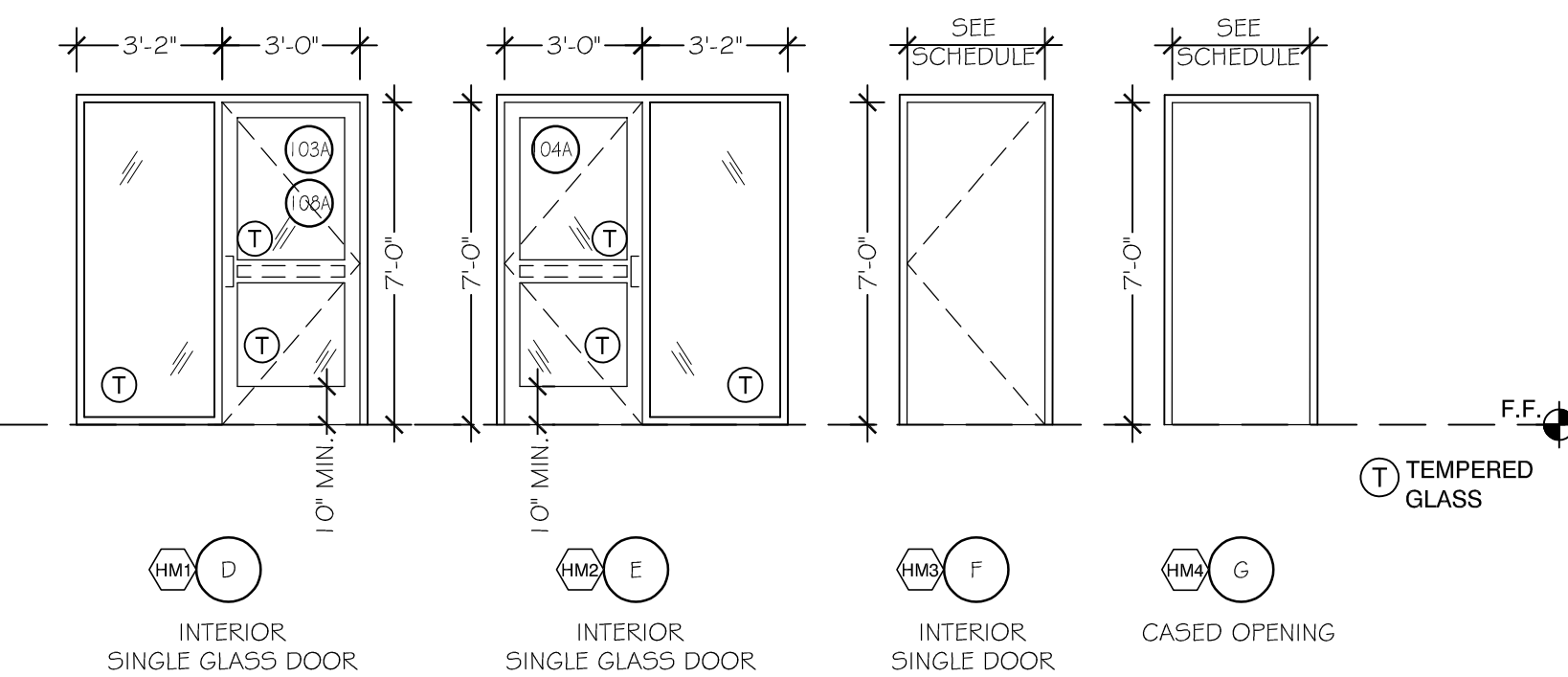




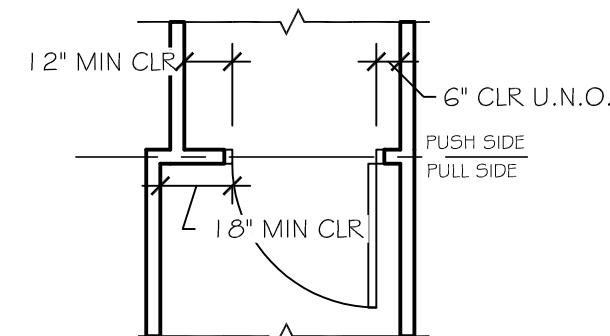
NOTE:

TYVEK ENVELOPE AND FLASHING DETAILS ARE GENERIC. ACTUAL CONDITIONS MAY VARY FOR THIS PROJECT. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND FIELD ADJUST AS REQUIRED.




$$1/4'' = 1'-0''$$

NOTE:
REFER TO FLOOR PLAN FOR DOOR SWING DIRECTION


$$1/4^8 = 1'-0''$$

Door #	Location	Type	Size			Door						Frame			See Sheet Details A-603			Remarks
			Width	Height	Thickness	Material	Glazing	Finish	Rating	Hardware Set	Stop Type	Material	Finish	Rating	Head	Jamb	Sill	
101A	Election Room	A	(2)-3'-0"	7'-0"	BY MNF.	BY MNF.	1" INSULATED GLASS	DARK BRONZE	N/A	1	CLOSER	BY MNF.	BY MNF.	NO	H1	J1	S1, S2	
101B	Election Room	F	3'-0"	7'-0"	1 3/4"	SOLID CORE	NO	PAINT WALL COLOR	N/A	4	HINGE STOP	HOLLOW METAL	PAINTED	NO				⑥
102A	Vestibule	A	(2)-3'-0"	7'-0"	BY MNF.	BY MNF.	1" INSULATED GLASS	DARK BRONZE	N/A	1	CLOSER	BY MNF.	BY MNF.	NO	H1	J1	S1, S2	
103A	PUBLIC OBSERVATION ROOM	D	3'-0"	7'-0"	1 3/4"	SOLID CORE	1" INSULATED GLASS	STAIN AND SEAL	N/A	2	CLOSER	HOLLOW METAL	PAINTED	NO	H4	J1	S1, S2	
104A	CORRIDOR	E	3'-0"	7'-0"	1 3/4"	SOLID CORE	1" INSULATED GLASS	STAIN AND SEAL	N/A	1	CLOSER	HOLLOW METAL	PAINTED	NO	H4	J1	S1, S2	
105A	FRONT OFFICE	EXISTING	3'-0"	7'-0"						6				NO				②
106A	STORAGE	F	3'-0"	7'-0"	1 3/4"	SOLID CORE	NO	STAIN AND SEAL	N/A	4	HINGE STOP	HOLLOW METAL	PAINTED	NO	H3	J3	S4	
107A	CORRIDOR	G	3'-0"	7'-0"								HOLLOW METAL	PAINTED	NO	H5	J5	-	③
108A	PUBLIC OBSERVATION ROOM	D	3'-0"	7'-0"	1 3/4"	SOLID CORE	1" INSULATED GLASS	STAIN AND SEAL	N/A	2	CLOSER	HOLLOW METAL	PAINTED	NO	H4	J3,J4	S4,S5	
109A	ABSENTEE ROOM	F	3'-0"	7'-0"	1 3/4"	SOLID CORE	NO	STAIN AND SEAL	N/A	4	CLOSER	HOLLOW METAL	PAINTED	NO	H3	J3	S4,S5	①
110A	MEN RESTROOM	F	3'-0"	7'-0"	1 3/4"	SOLID CORE	NO	STAIN AND SEAL	N/A	5	CLOSER	HOLLOW METAL	PAINTED	NO	H3	J3	S4,S5	
111A	WOMEN RESTROOM	F	3'-0"	7'-0"	1 3/4"	SOLID CORE	NO	STAIN AND SEAL	N/A	5	CLOSER	HOLLOW METAL	PAINTED	NO	H3	J3	S4,S5	
112A	CORRIDOR	F	3'-0"	7'-0"	1 3/4"	SOLID CORE	NO	STAIN AND SEAL	N/A	2	CLOSER	HOLLOW METAL	PAINTED	NO	H3	J3	S4,S5	
112B	CORRIDOR	G	4'-0"	7'-0"								HOLLOW METAL	PAINTED	NO	H5	J5	-	③
112C	CORRIDOR	C	4'-0"	7'-0"	BY MNF.	HOLLOW METAL	NO	STAIN AND SEAL	N/A	1	CLOSER	BY MNF.	BY MNF.	NO	H3.1	J3.1	S4,S5	①
113A	CORRIDOR	F	3'-0"	7'-0"	1 3/4"	SOLID CORE	NO	STAIN AND SEAL	N/A	4		HOLLOW METAL	PAINTED	NO	H3	J3	S4,S5	①
114A	CORRIDOR	EXISTING	3'-0"	7'-0"						6				NO				②
115A	ELECTRICAL ROOM	F	3'-0"	7'-0"	1 3/4"	SOLID CORE	NO	STAIN AND SEAL	N/A	4	HINGE STOP	HOLLOW METAL	PAINTED	NO	H3	J3	S4,S5	
117A	STAGING ROOM	F	4'-0"	7'-0"	1 3/4"	SOLID CORE	NO	STAIN AND SEAL	N/A	3	WALL STOP	HOLLOW METAL	PAINTED	NO	H3	J3	S4,S5	①
117B	STAGING ROOM	EXISTING	3'-0"	7'-0"						6				NO				②
117C	STAGING ROOM	EXISTING	3'-0"	7'-0"						6				NO				②
118A	HVAC CLOSET	EXISTING	3'-0"	7'-0"						6				NO				②
119A	OFFICE	EXISTING	3'-0"	7'-0"						6				NO				① ②
119B	OFFICE	EXISTING	3'-0"	7'-0"						6	CLOSER			NO				②
120A	EMS ROOM	F	3'-0"	7'-0"	1 3/4"	SOLID CORE	NO	STAIN AND SEAL	N/A	4		HOLLOW METAL	PAINTED	NO	H3	J3	S4,S5	①
121A	CORRIDOR	B	3'-0"	7'-0"	BY MNF.	BY MNF.	1" INSULATED GLASS	STAIN AND SEAL	N/A	1	CLOSER	BY MNF.	BY MNF.	NO	H1	J1	S1	①
121B	CORRIDOR	F	3'-0"	7'-0"	1 3/4"	SOLID CORE	NO	STAIN AND SEAL	N/A	4	CLOSER	HOLLOW METAL	PAINTED	NO	H3	J3	S4,S5	①
122A	MEN RESTROOM	F	3'-0"	7'-0"	1 3/4"	SOLID CORE	NO	STAIN AND SEAL	N/A	5	CLOSER	HOLLOW METAL	PAINTED	NO	H3	J3	S4,S5	
123A	WOMEN RESTROOM	F	3'-0"	7'-0"	1 3/4"	SOLID CORE	NO	STAIN AND SEAL	N/A	5	CLOSER	HOLLOW METAL	PAINTED	NO	H3	J3	S4,S5	
124A	OFFICE	F	3'-0"	7'-0"	1 3/4"	SOLID CORE	NO	STAIN AND SEAL	N/A	4								

NOTES

- 1 DOOR WITH CONTROLLED ACCESS - G.C. TO COORDINATE WITH OWNER AND OWNERS SECURITY AND LOW VOLTAGE VENDOR. COORDINATE WITH PROJECT ELECTRICAL ENGINEER AS NEEDED.
- 2 EXISTING DOOR, G.C. REPAIR ALL EXISTING DOORS TO REMAIN AS NECESSARY. EXISTING DOOR HARDWARE TO REMAIN UNLESS CONTROLLED ACCESS IS NOTED FOR THE DOOR. COORDINATE ALL REQUIREMENTS FOR HARDWARE WITH CONTROLLED ACCESS AND PROVIDE NEW HARDWARE AS REQUIRED.
- 3 G.C. COORDINATE CASED OPENING WITH DEMOLITION AND PREPARE NEW OPENING FOR HOLLOW METAL FRAME.
- 4 G.C. COORDINATE WITH OWNER IF THIS DOOR REMAINS PERMANENTLY LOCKED.
- 5 G.C. PROVIDE "NO EXIT" SIGNAGE ON PULL SIDE OF THE DOOR
- 6 ACCESS DOOR TO EXISTING WATER SERVICE

GENERAL:

1. DOOR SHALL BE INSTALLED A MIN OF 3" FROM ADJACENT WALL ON PERIMETER (UNLESS DIMENSIONED OTHERWISE)
2. INSULATION SHALL BE USED TO FILL VOIDS AT DOOR PERIMETER.
3. ANCHOR DOOR THRU HINGES AT TOP HOLE OF HINGE, SHIM AND FLUME UNITS AS REQUIRED.
4. SET UNITS IN CONTINUOUS SEALANT.
5. ANCHOR DOOR TO LEVELING AT PREDRILLED HOLES.
6. OPENING MUST BE LEVEL PRIOR TO INSTALLING UNIT.
7. SASH AND HINGE BEING INSTALLED 10-13 GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE: WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.

HARDWARE:

1. HARDWARE SHALL BE PER 2010 A.D.A. STANDARDS
2. ALL HARDWARE SHALL BE LEVER-OPEDED MECHANISM, PUSH-TYPE MECHANISM OR U-SHAPED HANDLES.
3. HARDWARE SHALL BE MOUNTED 40" ABOVE FINISHED FLOOR PER INDUSTRY STANDARDS, G.C.COORDINATE
4. ANY DEVIATIONS WITH AN ARCHITECT.
5. ALL KEYED ENTRIES SHALL BE MASTER KEYS.
6. WHERE PANIC HARDWARE IS REQUIRED ON FIRE RATED DOORS, SUCH HARDWARE SHALL BE LISTED AS "FIRE EXIT HARDWARE"

TYPE	HARDWARE SET
1	PANIC PUSH BAR w/ KEYED ENTRY + THUMB TURN
2	PASSAGE
3	KEYED LOCK OFFICE FUNCTION
4	KEYED STOREROOM
5	PRIVACY
6	- EXISTING HARDWARE, G.C. COORDINATE WITH OWNER IF TO BE REMOVED. FOR BID PURPOSE PROVIDE ALLOWANCE FOR NEW HARDWARE. - COORDINATE DOOR HARDWARE FOR DOOR #119A TO ALLOW FOR CONTROLLED ACCESS.

DESCRIPTION (DOT INDICATES SHEET WAS REVISED)

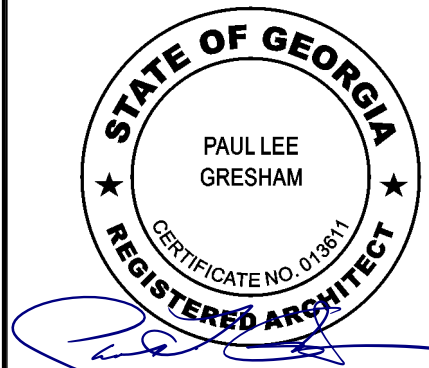
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FAYETTE COUNTY ELECTIONS OFFICE REMODEL

175 JOHNSON AVENUE
FAYETTEVILLE, 30214 GEORGIA
PROJECT #3142

PROJECT #3142

PROJEC



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DOOR SCHEDULE AND ELEVATIONS

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SKE

Checked by:

PL

PROJECT #

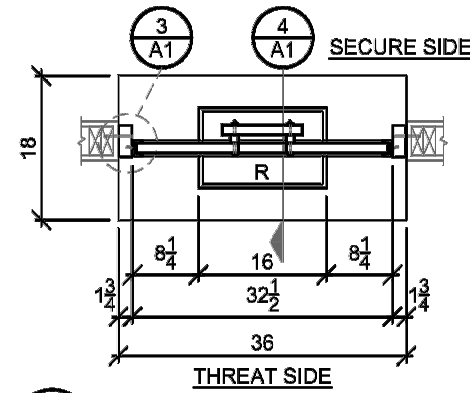
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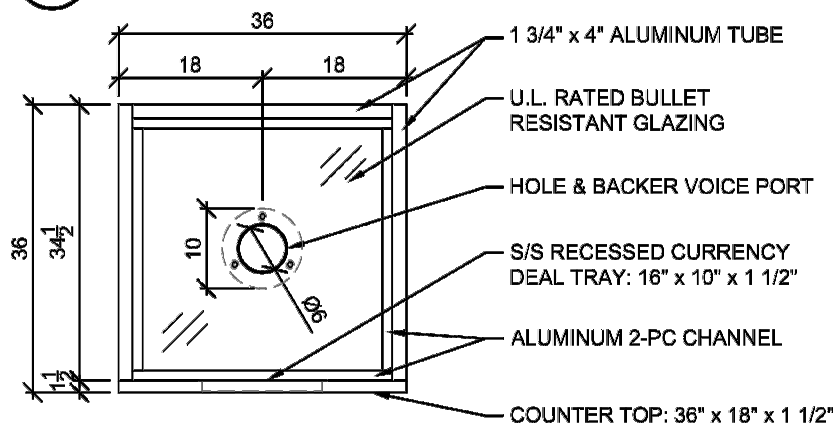
BULLET PROOF TRANSATION WINDOW DETAILS

APPROVAL REQUIRED	PLEASE VERIFY	DRAWING NOTES
<input type="checkbox"/> APPROVED AS DRAWN <input type="checkbox"/> APPROVED AS NOTED <input type="checkbox"/> REJECTED SIGNATURE: _____ DATE: _____	1. PLEASE SELECT ALUMINUM ANODIZE COLOR: <input checked="" type="checkbox"/> CLEAR <input checked="" type="checkbox"/> DARK BRONZE 2. PLEASE SELECT GLAZING RATING: <input type="checkbox"/> U.L. LEVEL 1 <input type="checkbox"/> U.L. LEVEL 2 <input checked="" type="checkbox"/> U.L. LEVEL 3 CONTACT T.S.S. FOR LEVEL 4-5 & 7-8 OPTIONS (LEVEL 3 MEETS LEVEL 6 REQUIREMENTS) 3. PLEASE SELECT GLAZING MATERIAL TYPE: <input type="checkbox"/> UNCOATED ACRYLIC (LVL 1 & 2 ONLY) <input type="checkbox"/> ABRASION RESISTANT ACRYLIC (LVL 1, 2, & 3) <input checked="" type="checkbox"/> LAMINATED POLYCARB. / ACRYLIC (LVL 1, 2, & 3) <input checked="" type="checkbox"/> GLASS CLAD POLYCARBONATE (LVL 1, 2, & 3) 4. PLEASE SELECT COUNTER TOP MATERIAL: <input checked="" type="checkbox"/> BLACK PLASTIC LAMINATE <input type="checkbox"/> 18 GA. S/S - #4 FIN.	1. THIS WILL BE FABRICATED & SHIPPED TO THE EXACT DIMENSION SHOWN. 2. ALL DIMENSIONS MUST BE APPROVED, SIGNED, DATED, OR OTHERWISE NOTED ON THIS DRAWING BEFORE FABRICATION CAN BEGIN. 3. FINISHED OPENING SIZE: 36 1/4" x 36 1/4". 4. VOICE PORT WILL BE CENTERED IN UNIT, UNLESS OTHERWISE SPECIFIED (TYP. 60" A.F.F.). 5. ALUMINUM COLOR MUST BE SPECIFIED FOR THE ENGINEERING TO BEGIN. 6. IN THE EVENT OF CONFLICTS OR DISCREPANCIES AMONG THE CONTRACT DOCUMENTS, INTERPRETATIONS WILL GIVE PRIORITY TO THE TOTAL SECURITY SOLUTIONS APPROVAL DRAWINGS OVER THE PROPOSAL OR ANY OTHER DOCUMENT PROVIDED OR INCLUDED IN THE AGREEMENT.

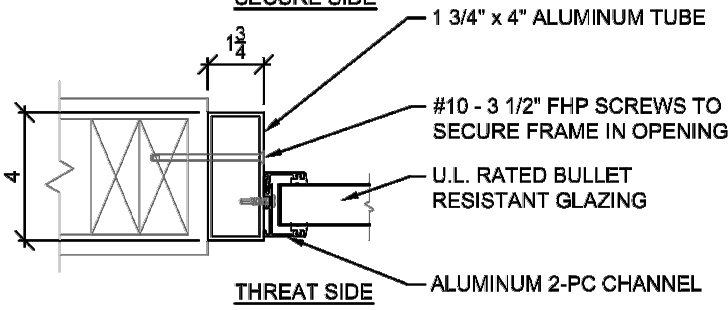
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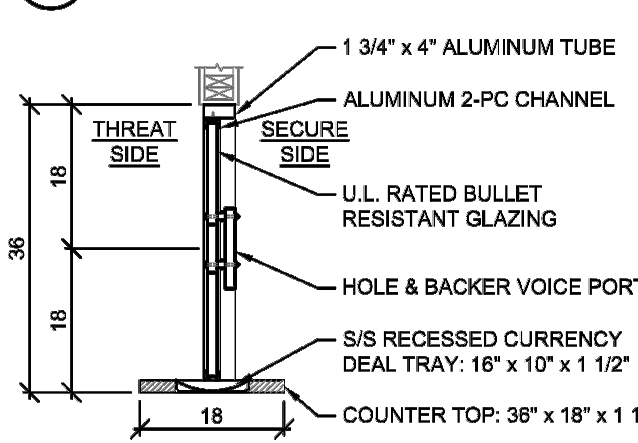
1 PLAN



2 ELEVATION

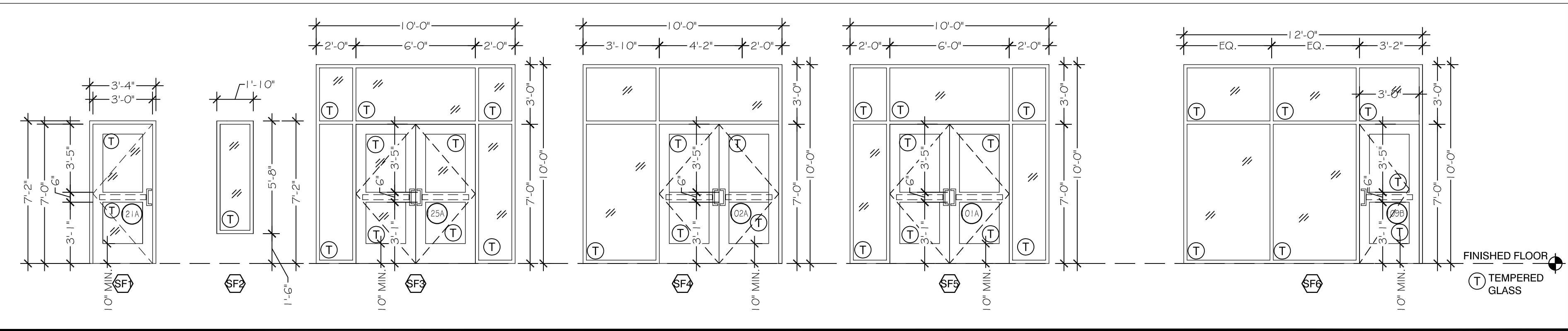


3 DETAIL



4 SECTION

EXTERIOR STOREFRONT ELEVATIONS



GENERAL GLAZING NOTES

- 1) USE INSULATION TO FILL ALL VOIDS @ WINDOW PERIMETERS.
- 2) PROVIDE FLASHING, BACKER ROD, SEALANT, AND WEEP WICKS AS REQD.
- 3) SHIM AND PLUMB UNITS AS REQUIRED.
- 4) PROVIDE STOREFRONT ENTRY AND WINDOWS SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL.
- 5) SAFETY GLAZING IBC 2406.4.3 THRU 2406.4.7: GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE; WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
6. ALL WINDOW AND DOORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SELECTED MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
7. G.C. TO VERIFY A WATERTIGHT CONDITION IS PRESENT THROUGHOUT FACILITY.
8. ALL HM & STOREFRONT FRAMES TO BE 2" TYPICAL. G.C. TO COORDINATE OPENING SIZES IF FRAMES ARE NOT 2".

STOREFRONT SPECIFICATION:

FRAMES: OLDCASTLE, 3000 SERIES, 2"X 4 1/2"
 MULTI PLANE -HIGH PERFORMANCE DUAL THERMAL BREAK
 FINISH: DARK BRONZE FINISH
 GLAZING: SOLAR BAN 60 MIN., 1" INSULATING GLASS WITH GRAY TINT
 SOLARBAN 60:
 MIN. REQUIRED U-VALUE: 0.25
 MIN. REQUIRED SHGC: 0.24
 PROVIDE STOREFRONT SHOP DRAWINGS FOR ARCHITECT'S AND OWNER REVIEW AND APPROVAL.
 G.C. PROVIDE SAMPLES FOR ARCHITECT'S REVIEW AND APPROVAL PRIOR ORDERING OR FABRICATION I DO NOT ORDER OR FABRICATE ANY STOREFRONT UNITS WITHOUT APPROVED SHOP DRAWINGS BY AN ARCHITECT I

BULLET PROOF FRAMES SPECIFICATION:

BASE OF DESIGN OR APPROVE EQUAL:
 TRANSATION WINDOW BP-1:
 TSS HOLE AND TRANSATION WINDOW BY
 TOTAL SECURITY SOLUTIONS, PH: 517-223-7807, FOWLERVILLE, MI
 LEVEL 3, GLASS CLAD POLYCARBONATE, DARK BRONZE FINISH FRAME
 OBSERVATION WINDOW BP-2:
 WINDOW BY
 TOTAL SECURITY SOLUTIONS, PH: 517-223-7807, FOWLERVILLE, MI
 LEVEL 3, 1" CLEAR GLASS, DARK BRONZE FINISH FRAME

EXTERIOR STOREFRONT SCHEDULE

NOTE: REFER TO FLOOR PLAN FOR DOOR SWING DIRECTION

ID #	SIZE		DOOR	1" INSULATING GLAZING	FRAME		SEE SHEET A-603 FOR DETAILS			REMARKS
	WIDTH	HEIGHT			FINISH	RATING	HEAD	JAMB	SILL	
SF1	3'-4"	7'-2"	YES	YES	BY MNF.	NO	H1	J1	S1	
SF2	1'-10"	5'-8"	NO	YES	BY MNF.	NO	H1	J1	S3	
SF3	10'-0"	10'-0"	NO	YES	BY MNF.	NO	H1	J1	S1,S2	
SF4	10'-0"	10'-0"	NO	YES	BY MNF.	NO	H1	J1	S1,S2	
SF5	10'-0"	10'-0"	NO	YES	BY MNF.	NO	H1	J1	S1,S2	
SF6	10'-0"	10'-0"	NO	YES	BY MNF.	NO	H1	J1	S1,S2	

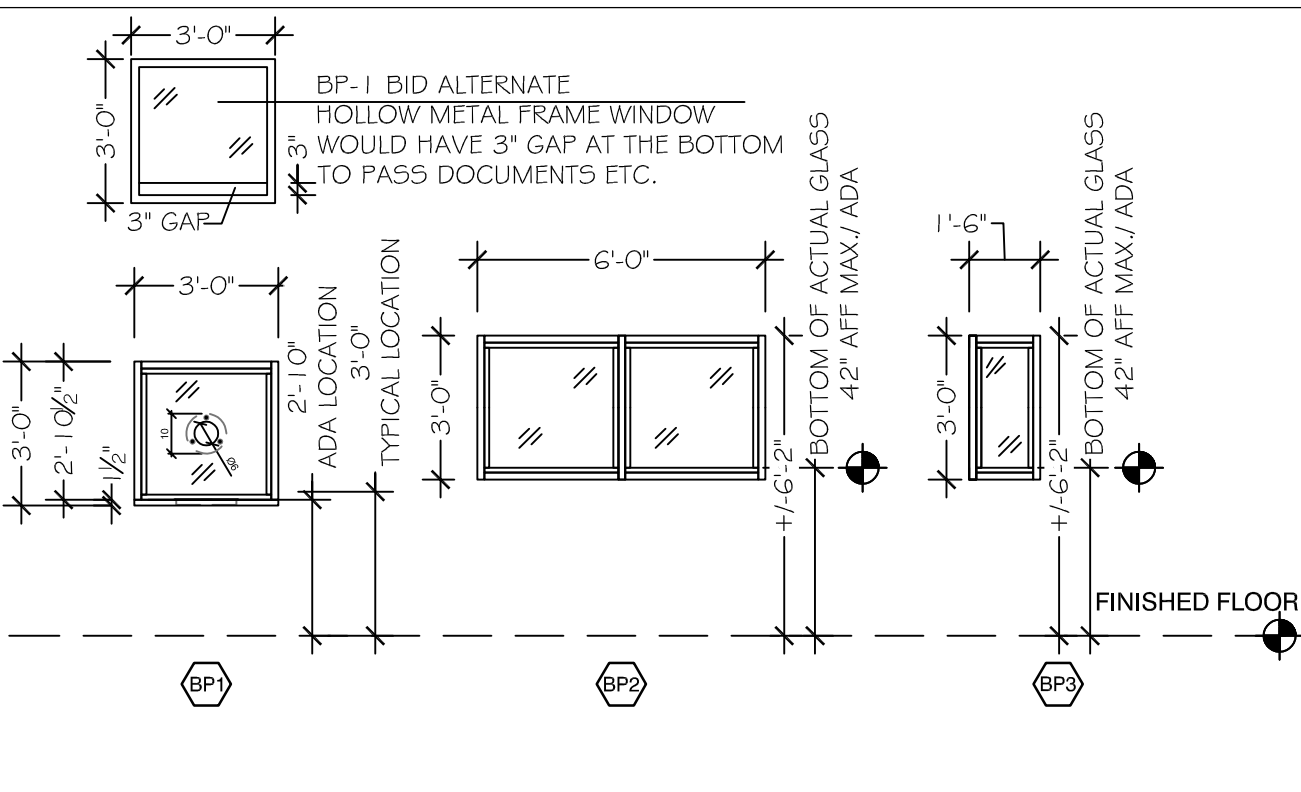
HARDWARE SPECIFICATION:

GENERAL CONTRACTOR SHALL SUBMIT HARDWARE SUBMITTAL FOR ARCHITECT'S AND OWNER'S REVIEW AND APPROVAL.
 DO NOT PROCEED WITH ORDERING / PURCHASING WITHOUT ARCHITECTS AND OWNER APPROVAL.

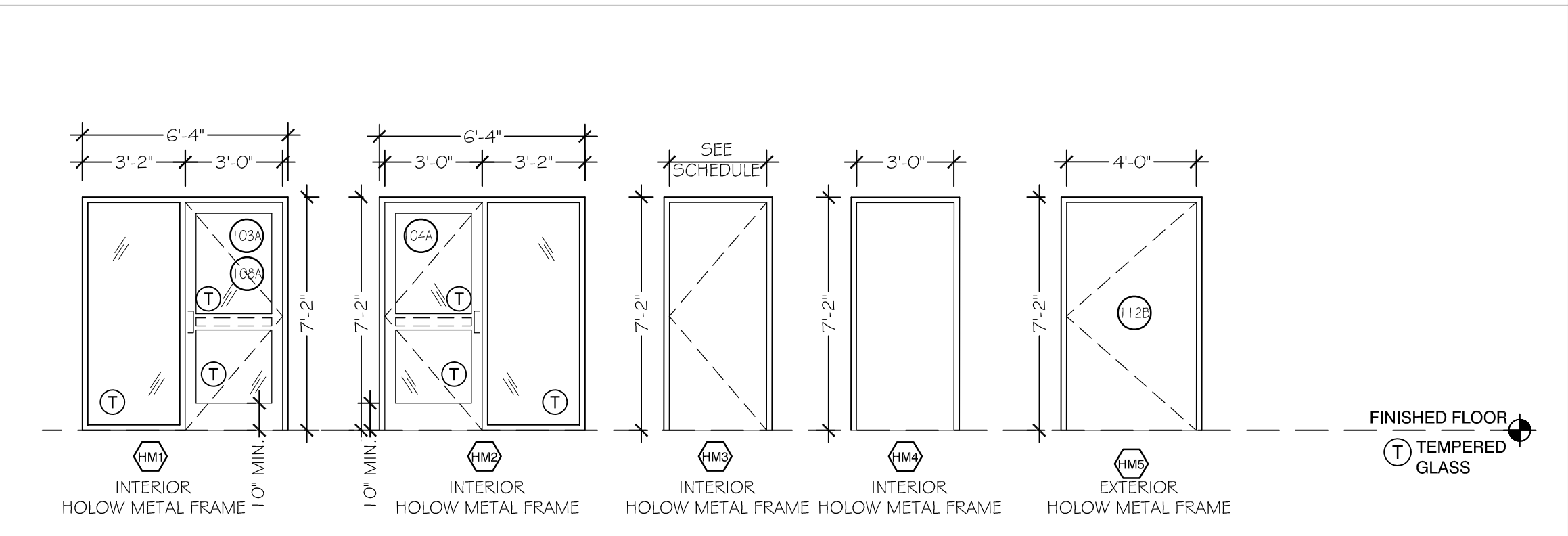
BULLET PROOF OBSERVATION WINDOW DETAILS

REDUCER REQUIRED FOR THINNER GLAZING BUILD-UP	TSS-BL1.75 U.L. 752 LEVEL 1-3 & 6 FRAMING

BULLET PROOF FRAMES ELEVATIONS



INTERIOR HOLLOW METAL FRAMES ELEVATIONS



INTERIOR BULLET PROOF FRAMES SCHEDULE

ID #	SIZE		DOOR	1" INSULATING GLAZING	FRAME		SEE SHEET A-603 FOR DETAILS			REMARKS
	WIDTH	HEIGHT			FINISH	RATING	HEAD	JAMB	SILL	
BP1	3'-0"	3'-0"	NO	YES	DARK BRONZE	YES	BY MNF.	BY MNF.	BY MNF.	TRANSATION WINDOW
BP2	6'-0"	3'-0"	NO	YES	DARK BRONZE	YES	BY MNF.	BY MNF.	BY MNF.	OBSERVATION WINDOW
BP3	1'-6"	3'-0"	NO	YES	DARK BRONZE	YES	BY MNF.	BY MNF.	BY MNF.	OBSERVATION WINDOW

BID NOTE:

G.C. PROVIDE A BID ALTERNATE FOR BULLET PROOF WINDOWS TO BE STANDARD HOLLOW METAL FRAME WITH 1/4" TEMPERED GLASS

HOLLOW METAL FRAMES SCHEDULE

ID #	SIZE		DOOR	1" INSULATING GLAZING	FRAME		SEE SHEET A-603 FOR DETAILS			REMARKS
	WIDTH	HEIGHT			FINISH	RATING	HEAD	JAMB	SILL	
HM1	6'-2"	7'-2"	YES	YES	BY MNF.	NO	H3,H4	J3,J4	S1,S5	
HM2	6'-2"	7'-2"	YES	YES	BY MNF.	NO	H3,H4	J3,J4	S1,S5	
HM3	3'-4"	7'-2"	YES	YES	BY MNF.	NO	H3	J3	S4	
HM4	3'-4"	7'-2"	YES	YES	BY MNF.	NO	H5	J5	-	
HM5	4'-4"	7'-4"	YES	YES	BY MNF.	NO	H5	J5	S1	

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 150 HURDLETON ROAD, SUITE 1000
 PEACHTREE CITY, GEORGIA 30099
 770-432-9545
 JEFFERSONBROWNEARCHITECTS.COM

PRINT RECORD

DESCRIPTION (DOT INDICATES SHEET WAS REVISION)

FAYETTE COUNTY ELECTIONS OFFICE
 REMODEL
 175 JOHNSON AVENUE
 FAYETTEVILLE, 30214 GEORGIA
 PROJECT #3142



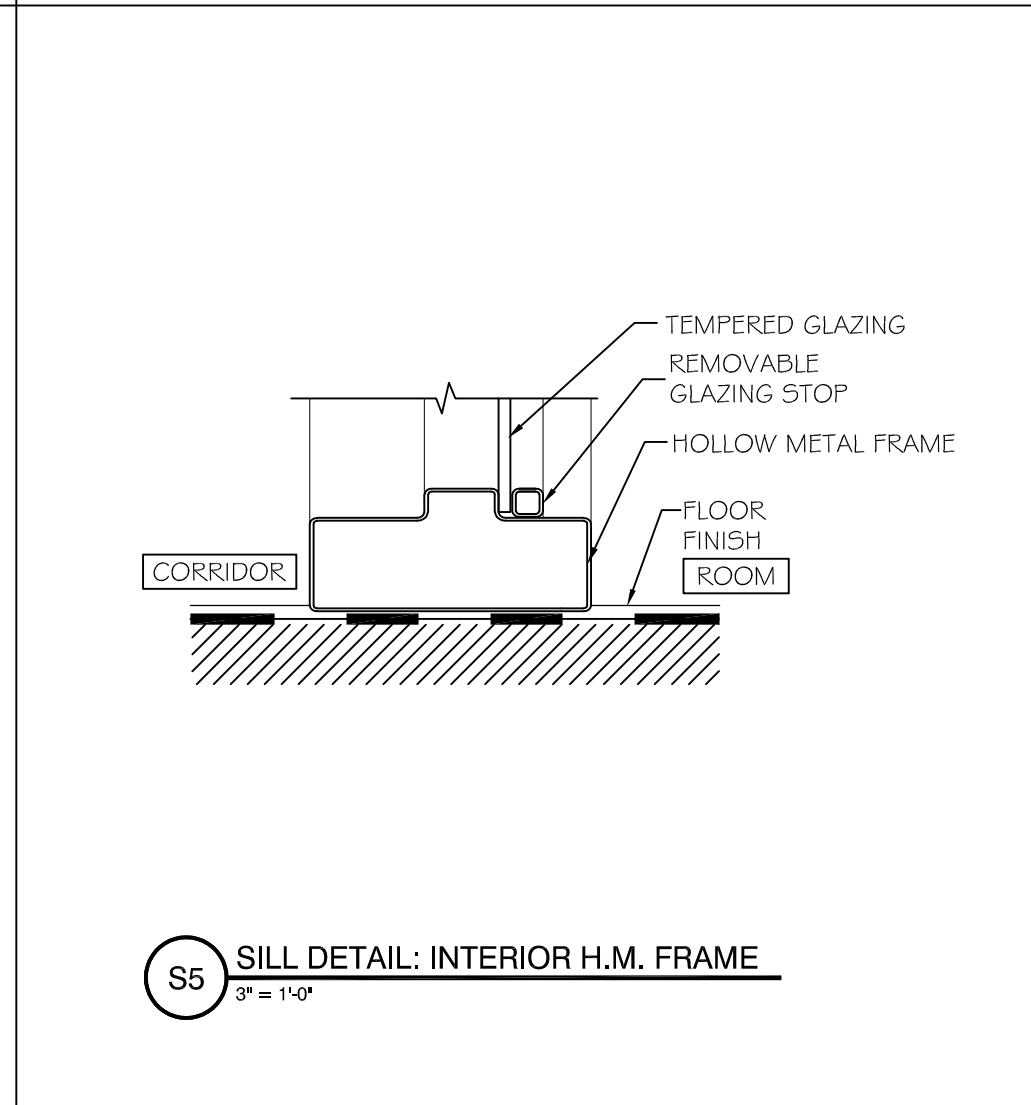
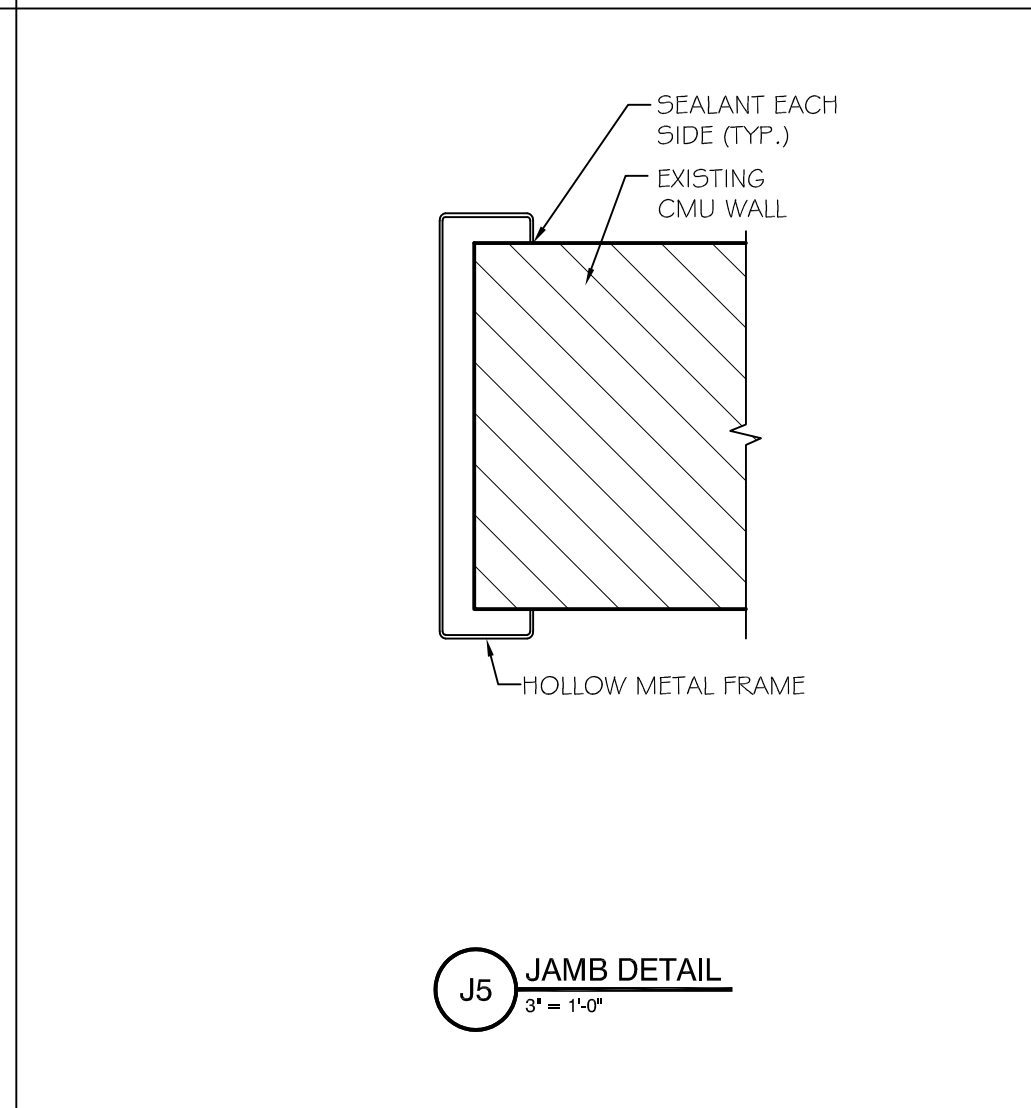
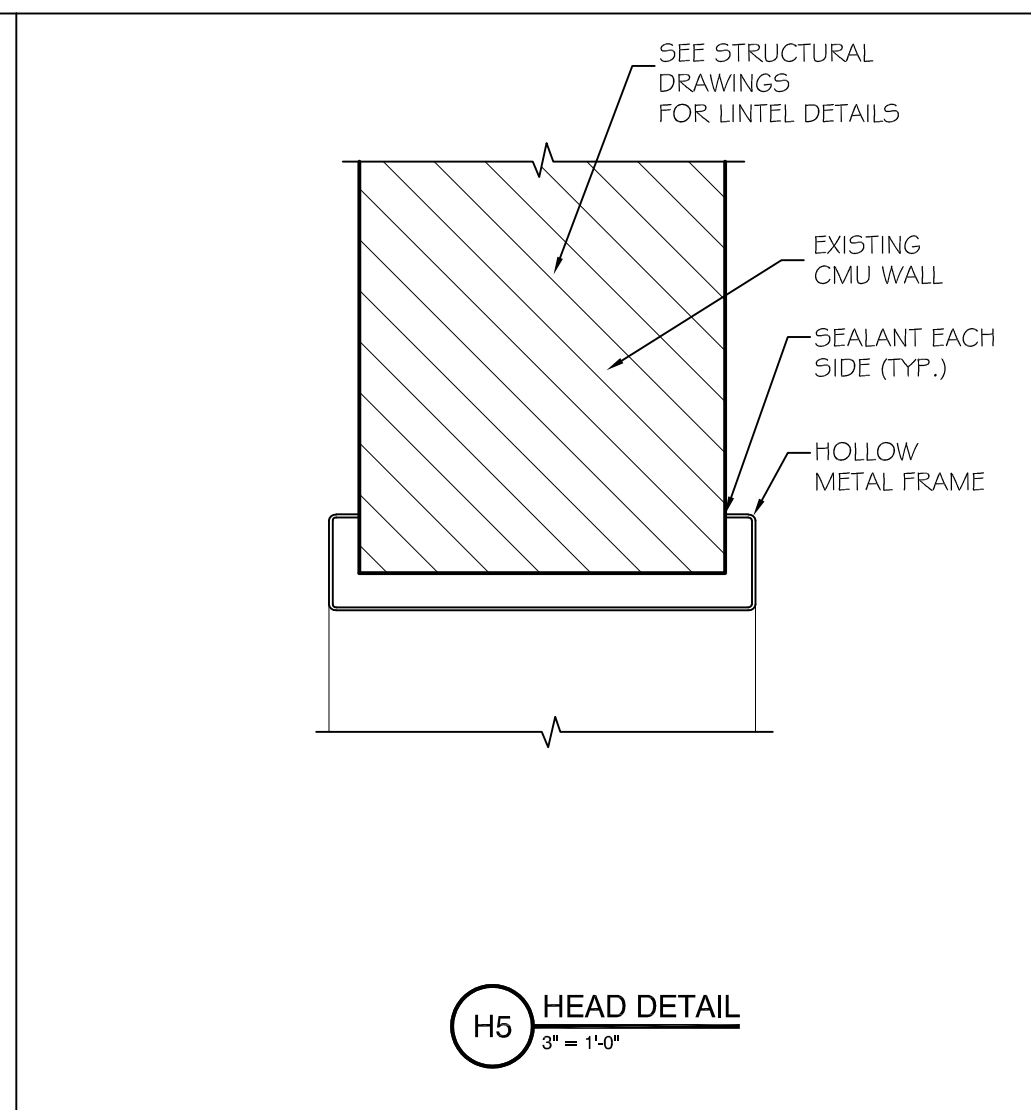
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 Release Date: May 25, 2021

SEAL



GLAZING SCHEDULE AND ELEVATIONS

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 Project # 21-3142





A-602





FINISH LEGEND AND ALLOWANCES				
NOTE: ALLOWANCE AMOUNTS ARE FOR MATERIAL ONLY UNLESS NOTED OTHERWISE				
 <p>EXISTING CONCRETE CLEAN AND CLEAR SEAL</p>	 <p>LUXURY VINYL TILE (LVT)</p>	 <p>CARPET TILE</p>	 <p>EXISTING TILE</p>	 <p>TRANSITION STRIP</p>
\$6.00 PER SF MATERIAL+LABOR	\$3.00 PER SF MATERIAL+LABOR	\$12.50 PER SF MATERIAL+LABOR		\$5.00 PER LF

BASE TYPES

 <p>4" VINYL BASE</p>	 <p>SCHLUTER COVE BASE OR APPROVED EQUAL</p>
 <p><u>BASE PROFILE</u> N.T.S</p>	 <p><u>BASE PROFILE</u> N.T.S</p>

<h1>WALL FINISH TYPES</h1>	
WA:	PAINTED GYPSUM BOARD
WB:	WALL TILE UP TO 5'-0" A.F.F. W/ PAINTED EPOXY PAINT ABOVE

CEILING FINISH TYPES
CA: 2'x2' ACOUSTICAL CEILING GRID # TILES.
CB: 2'x4' ACOUSTICAL CEILING GRID # TILES.
CC: EXISTING 2'x2' ACOUSTICAL CEILING GRID # TILES.
CD: EXISTING GYPSUM BOARD CEILING.

DOOR FINISH TYPES	
DA:	STAINED & SEALED
DB:	EXISTING

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SKEO

Checked By: _____

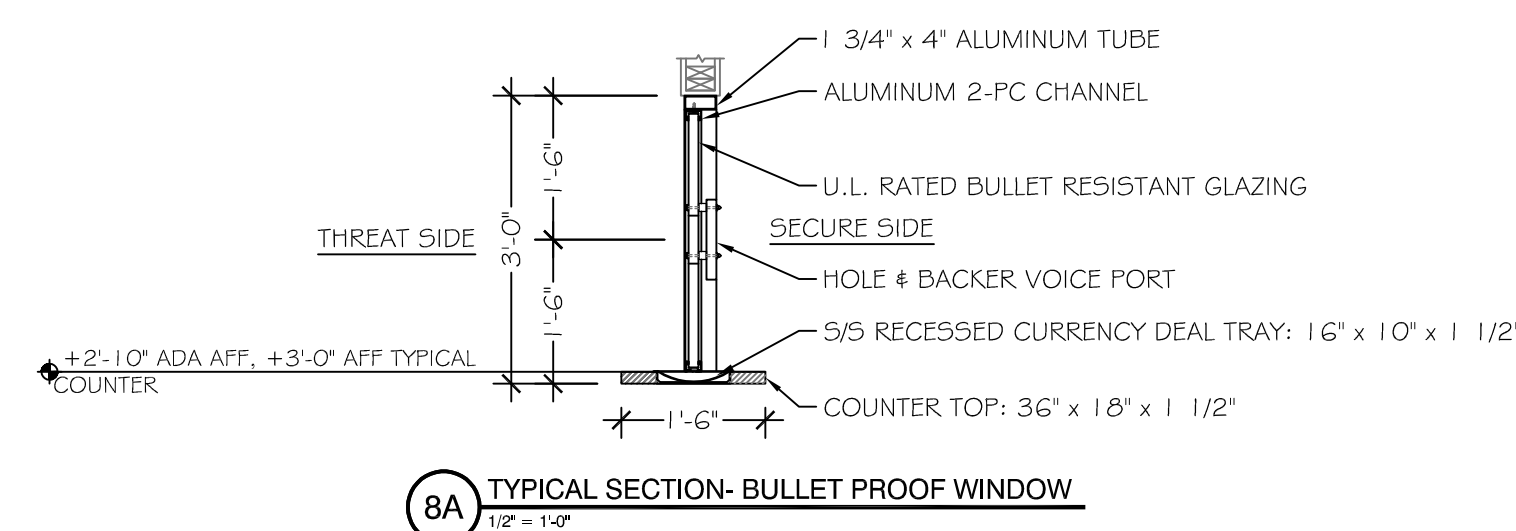
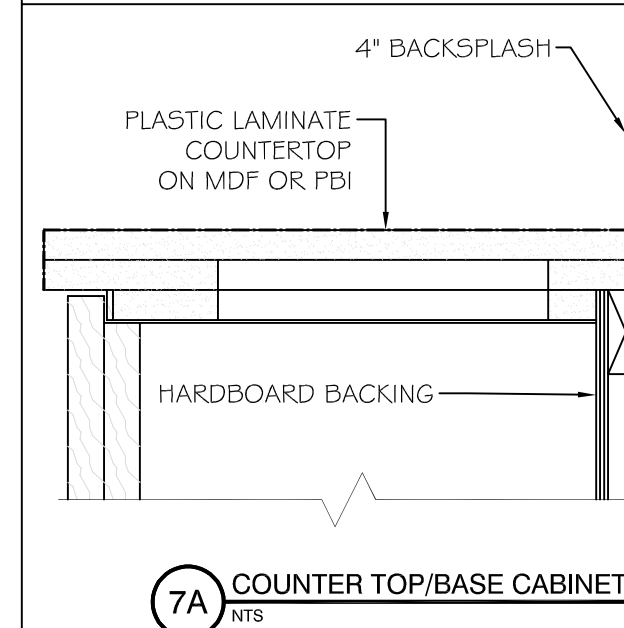
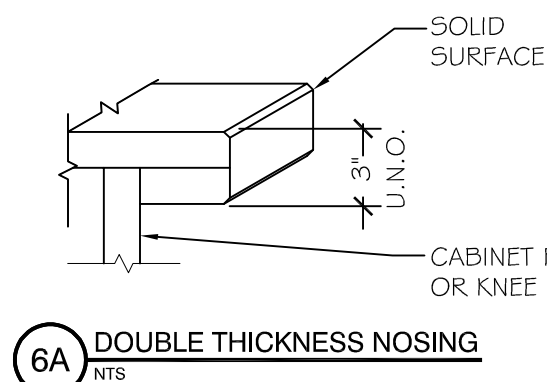
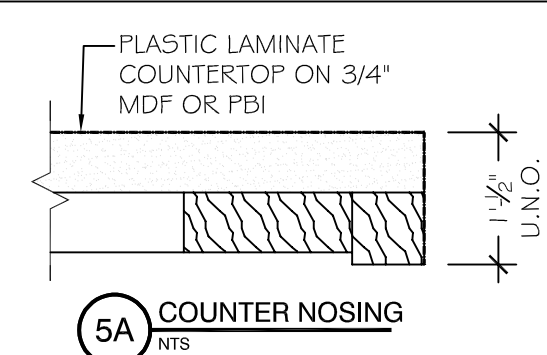
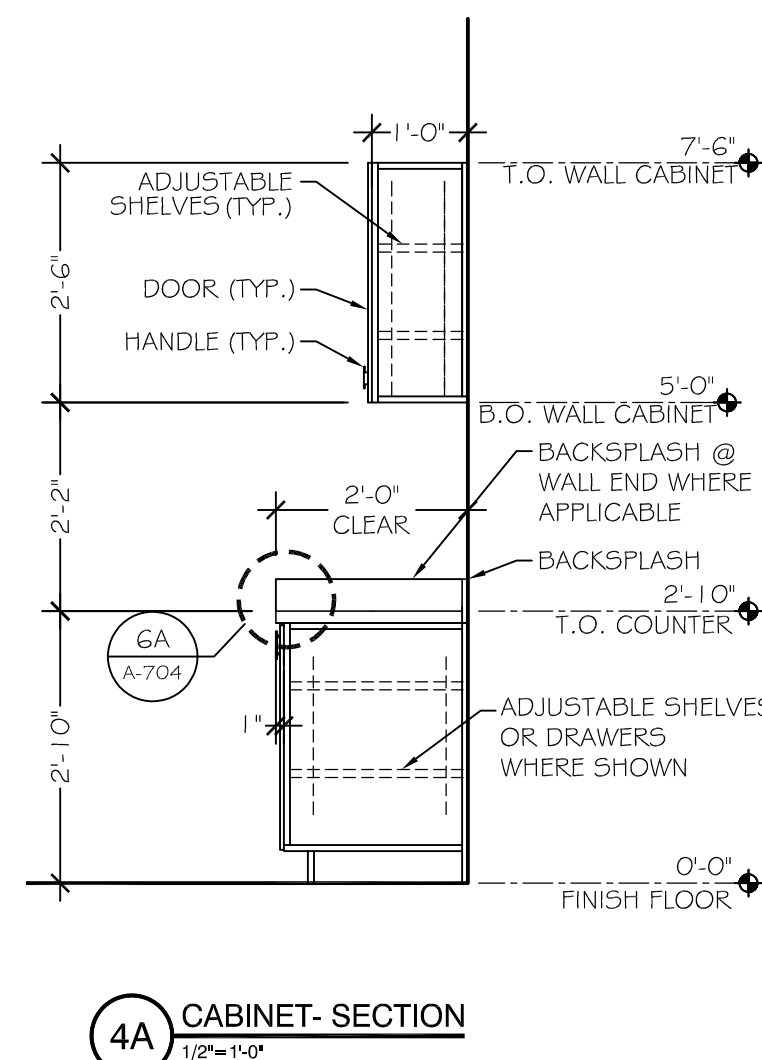
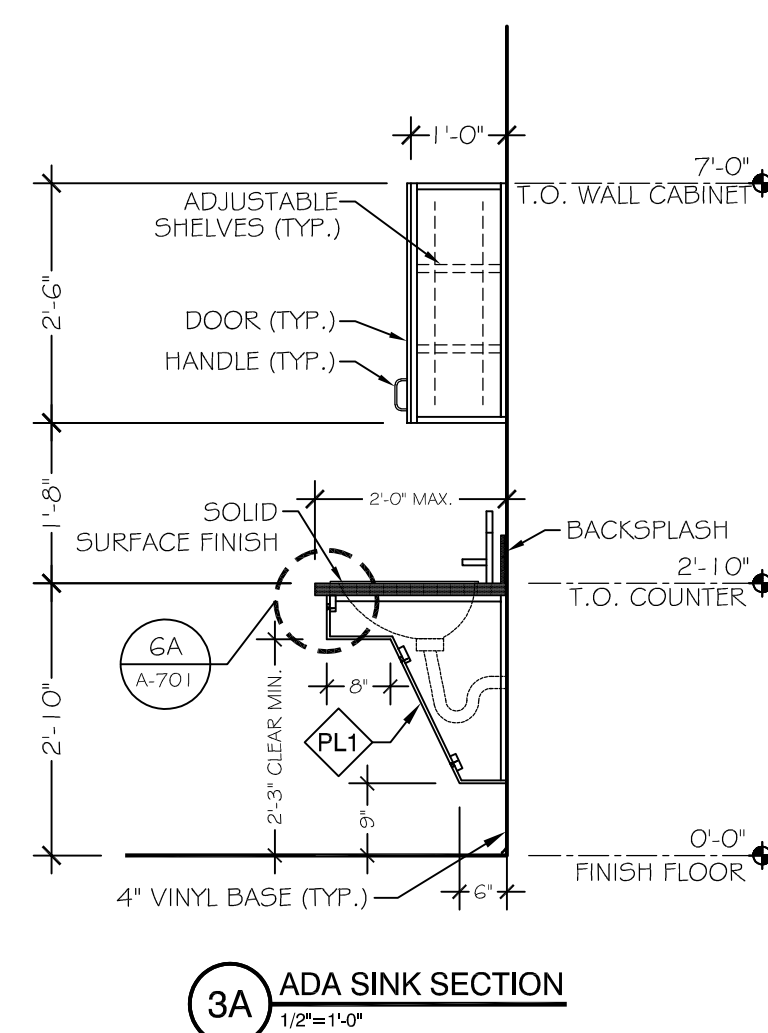
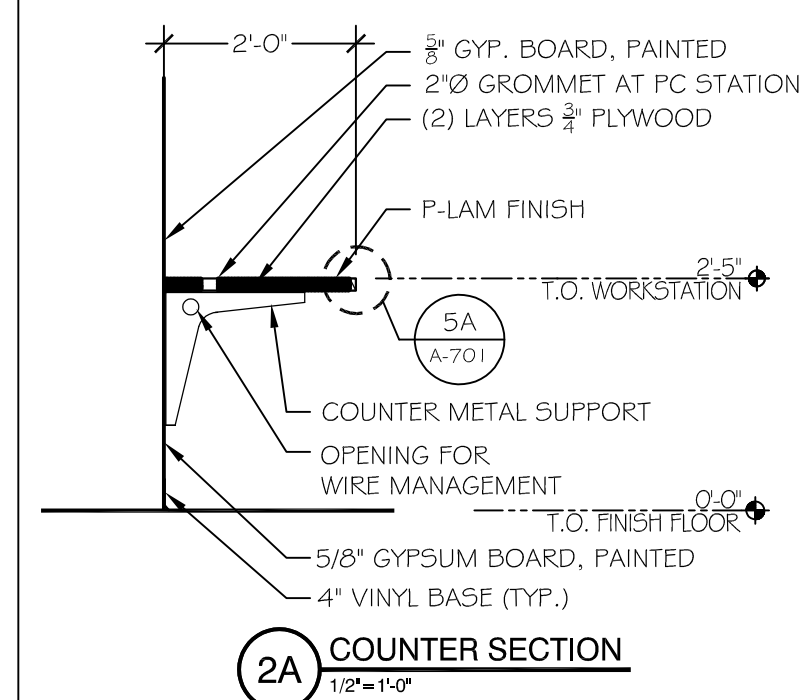
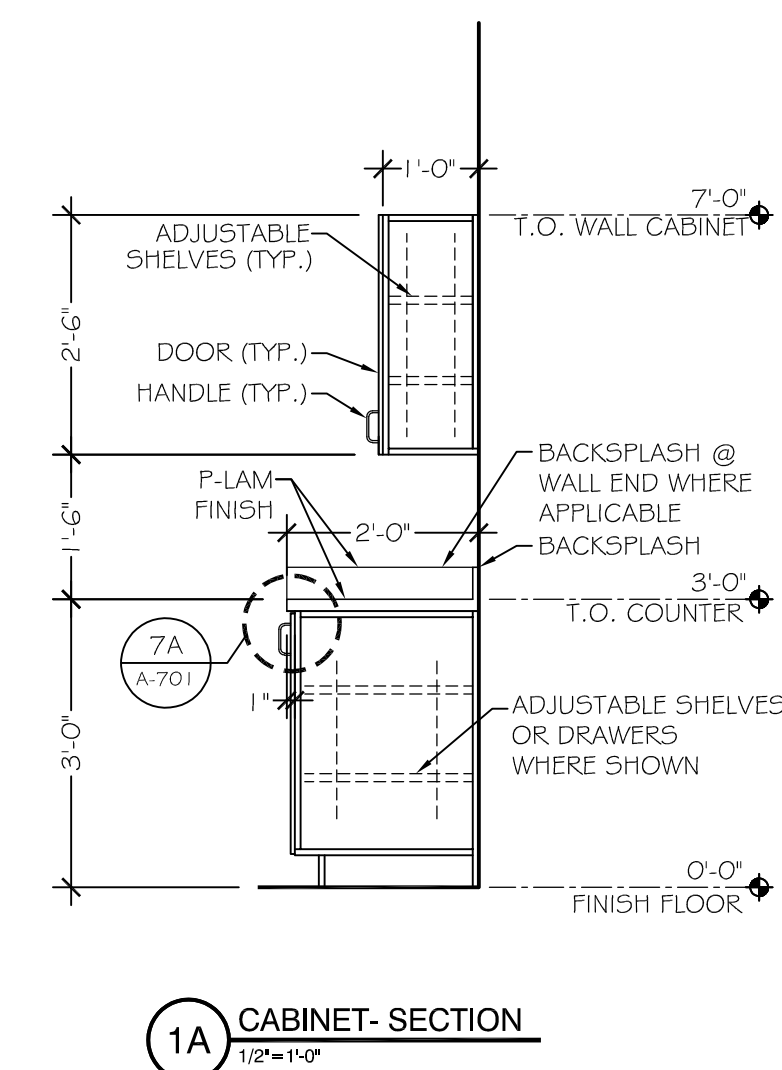
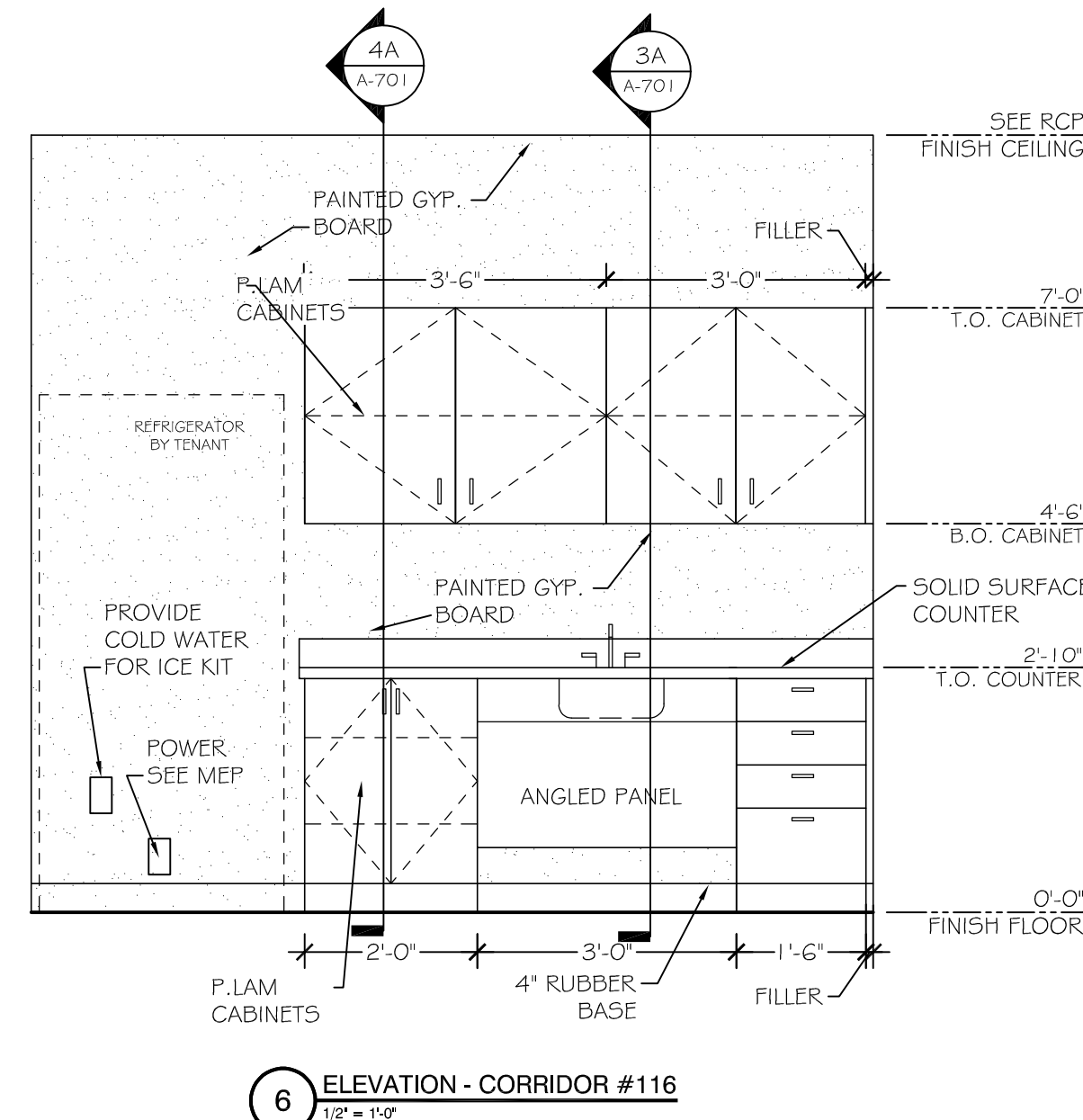
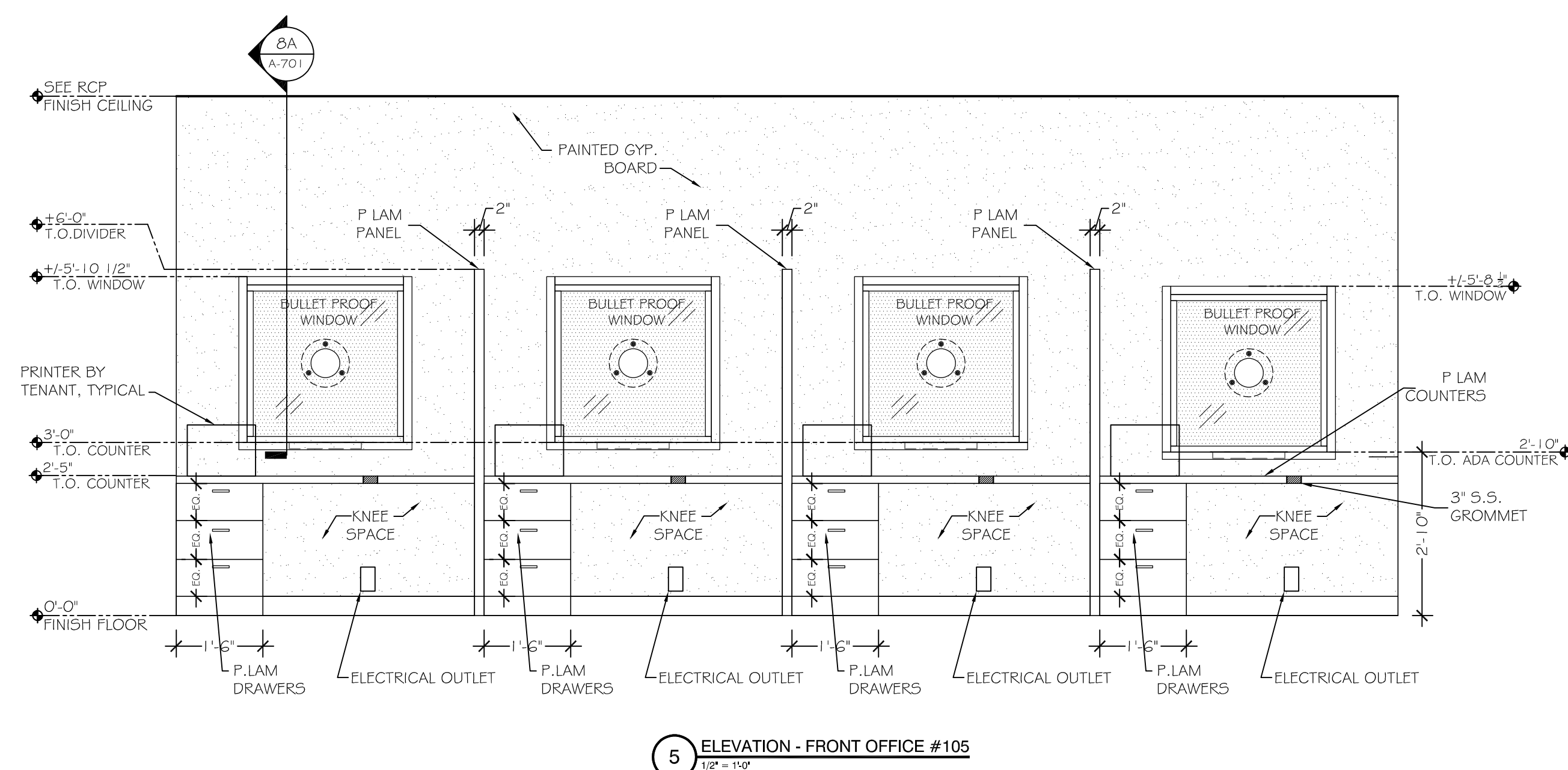
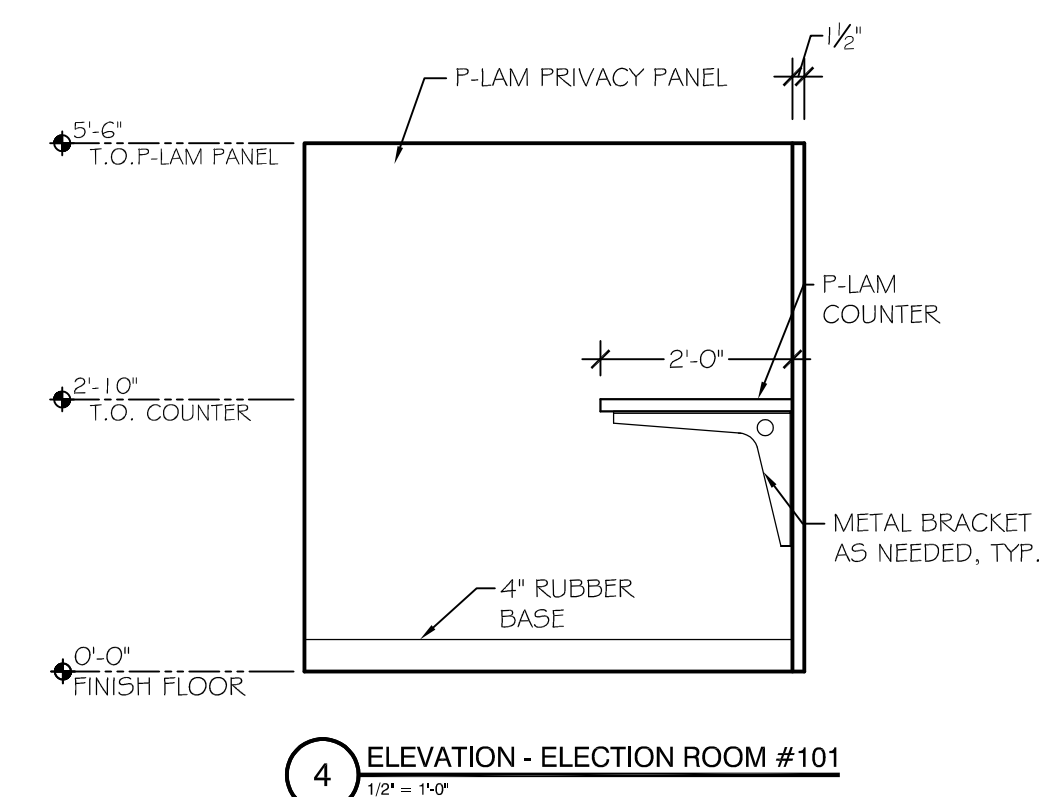
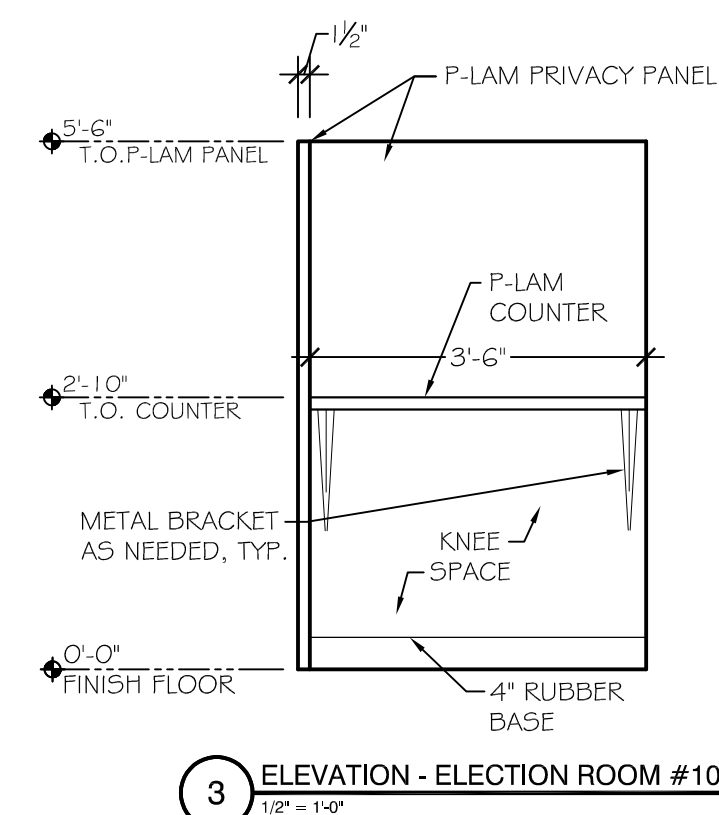
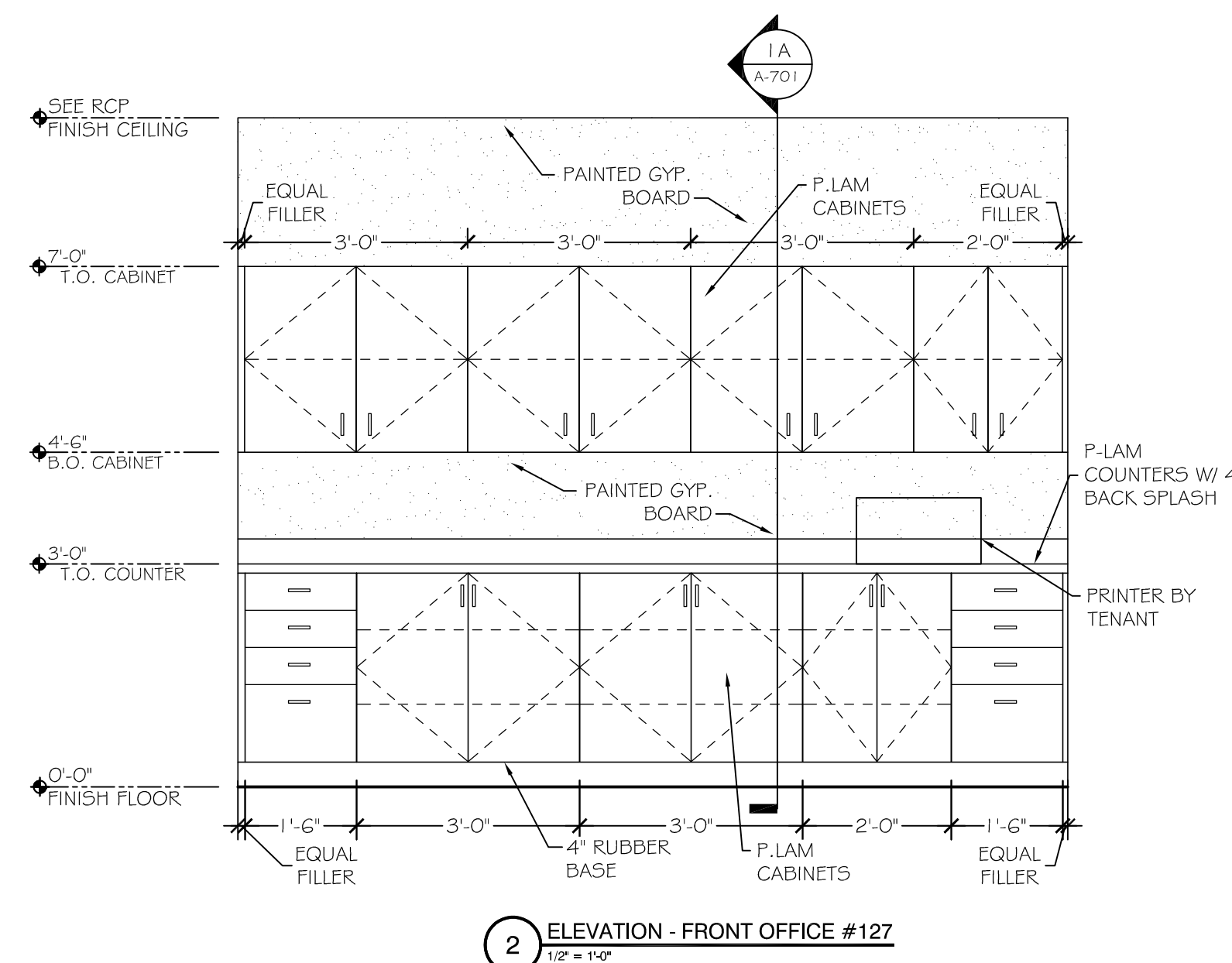
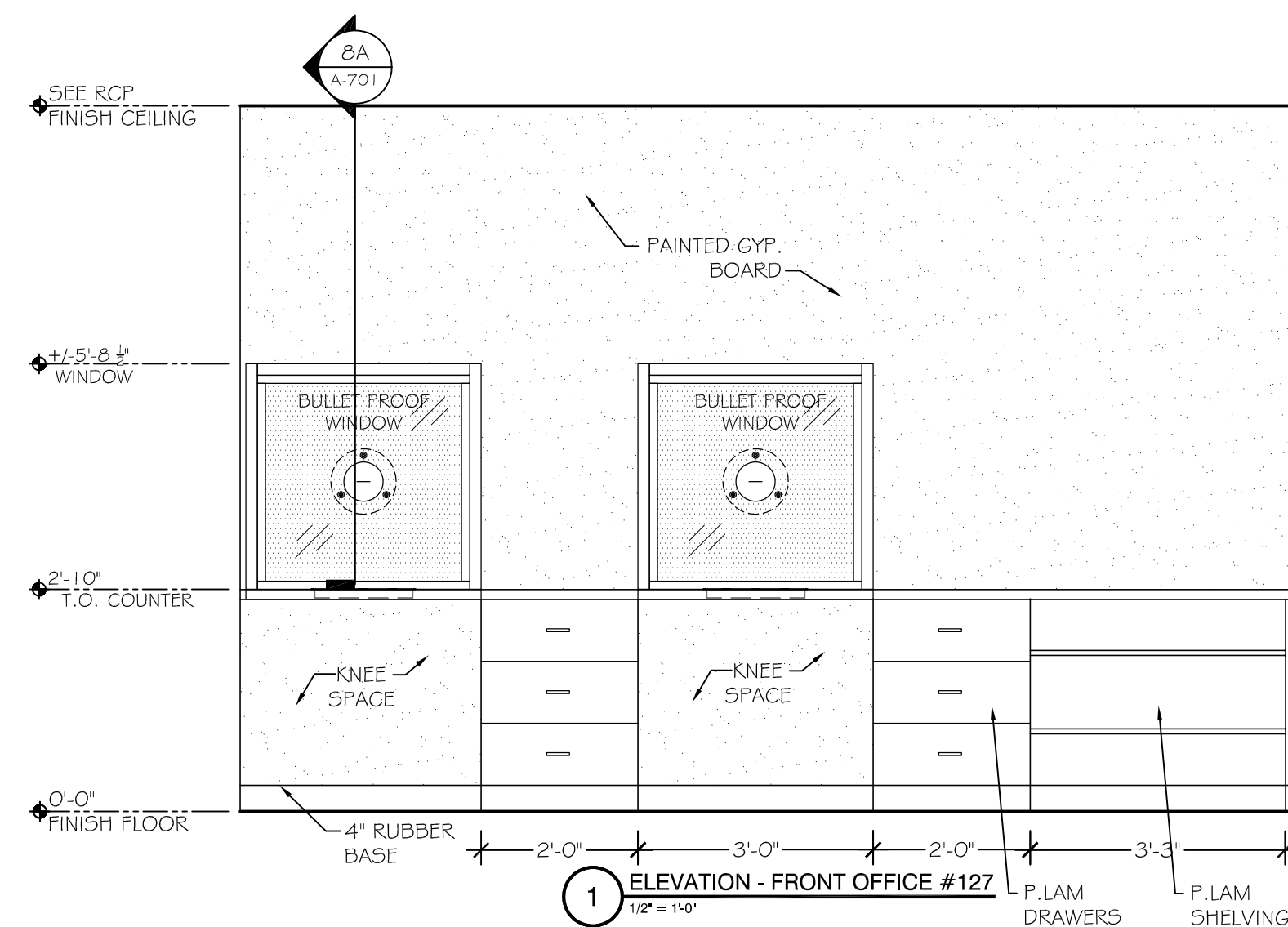
PLG

A604

PROJECT # _____

21-3142

A-604



NOTES:

I. CABINETS SHOWN ARE SCHEMATIC ONLY, CONTRACTOR SHALL PROVIDE SHOP DRAWINGS PRIOR TO CONSTRUCTION FOR TENANT'S, ARCHITECT'S REVIEW AND APPROVAL.

2. CONTRACTOR SHALL PROVIDE WOOD BACKING FOR ALL CABINETS, GRAB BARS, TV'S AND WALL MOUNTED RACKS/ HOOKS, ETC. PER APPLICABLE CODES.

3. FOR ELECTRICAL OUTLETS AND DATA SEE ELECTRICAL DRAWINGS.

4. ALL CABINETRY SHALL BE PROVIDED WITH ADJUSTABLE SHELVING.
(TYP.)

5. ALL CABINETRY SHALL BE 5-PLY INTERIOR GRADE FLUSH OVERLAY TYPE (TYP.) CONTRACTOR SHALL SUBMIT SUBSTITUTION FOR ARCHITECT'S APPROVAL.

6. G.C. SHALL FIELD VERIFY ALL BUILT DIMENSIONS PRIOR TO FABRICATION OR INSTALLATION

7. G.C. TO COORDINATE WITH INTERIOR DESIGN DRAWINGS IF PROVIDED. ALL FINAL CABINETRY DESIGN SHALL BE APPROVED BY OWNER.

FAYETTE COUNTY ELECTIONS OFFICE
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FAYETTEVILLE, 30214 GEORGIA
PROJECT #3142



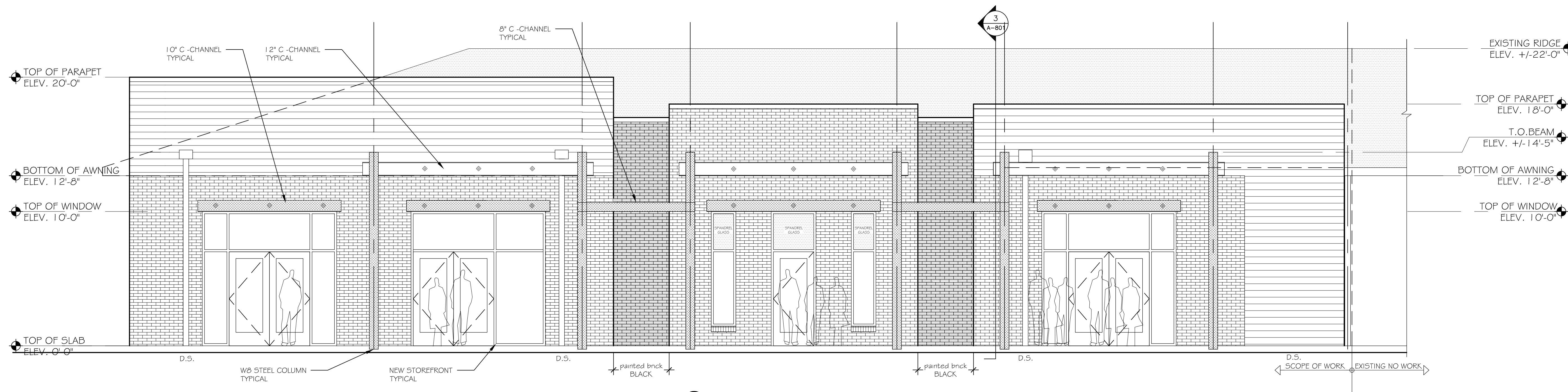
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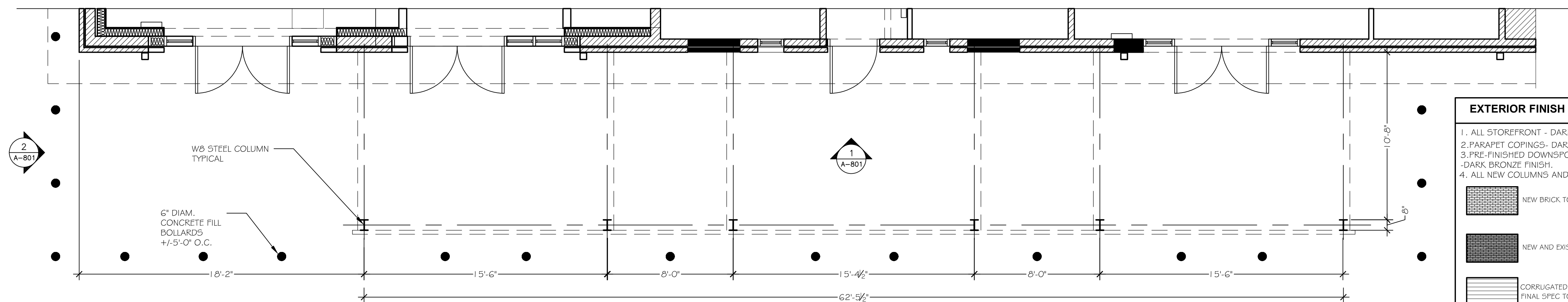
EXTERIOR
ELEVATIONS -
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BID ALTERNATE

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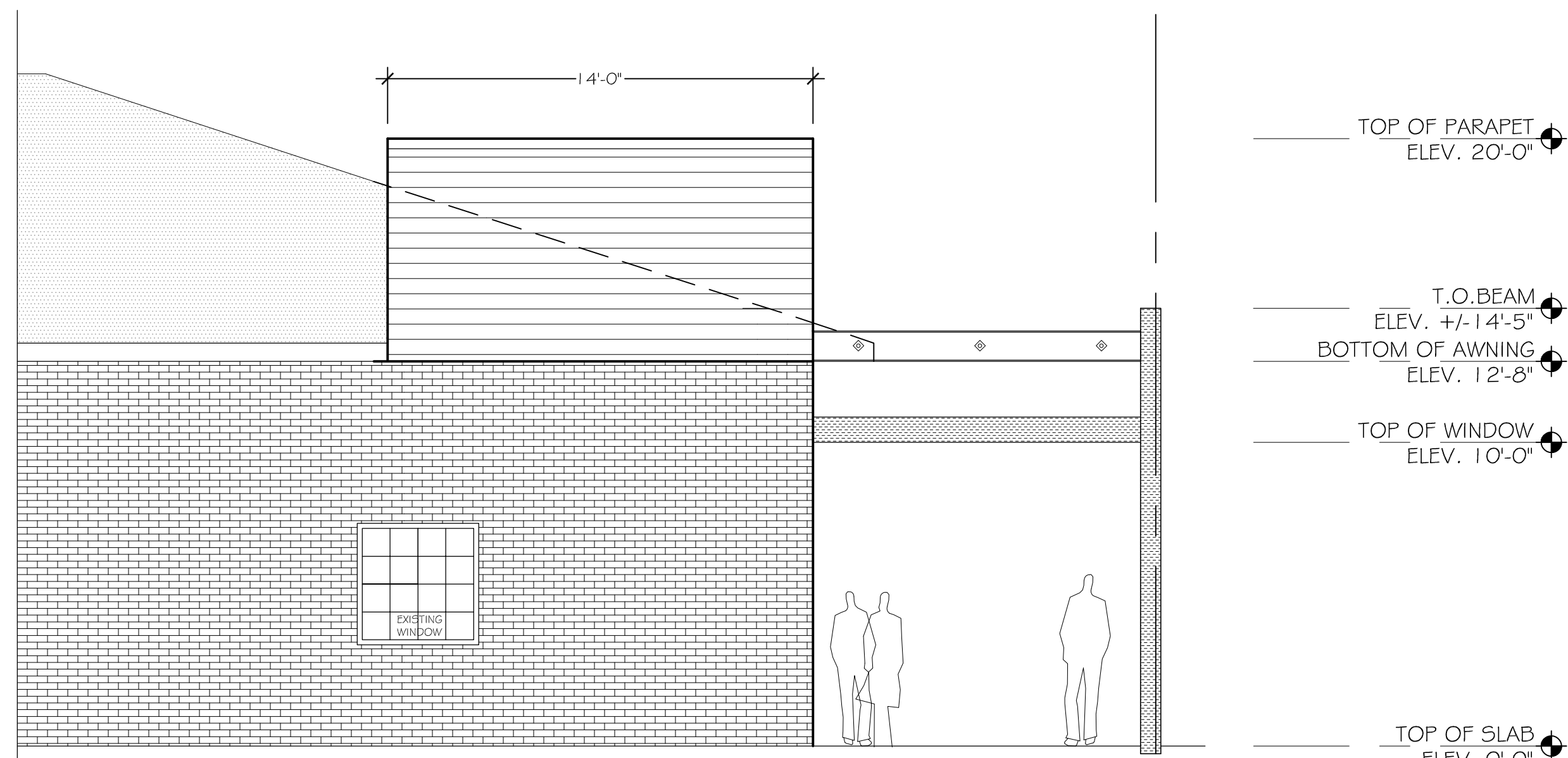
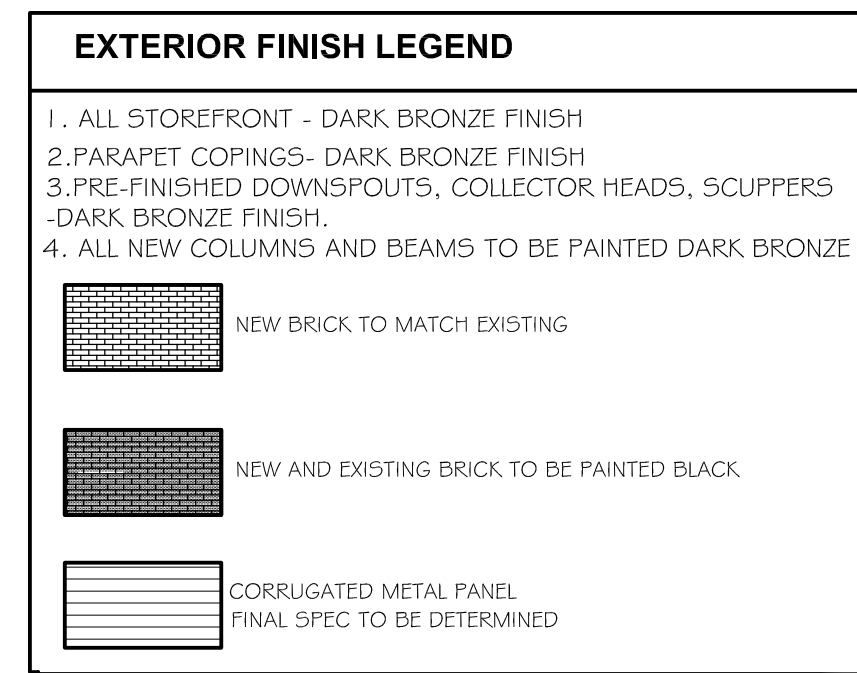
Drawn By:	A-80
SK,EO	
Checked By:	
PLG	
PROJECT #	
21-3142	



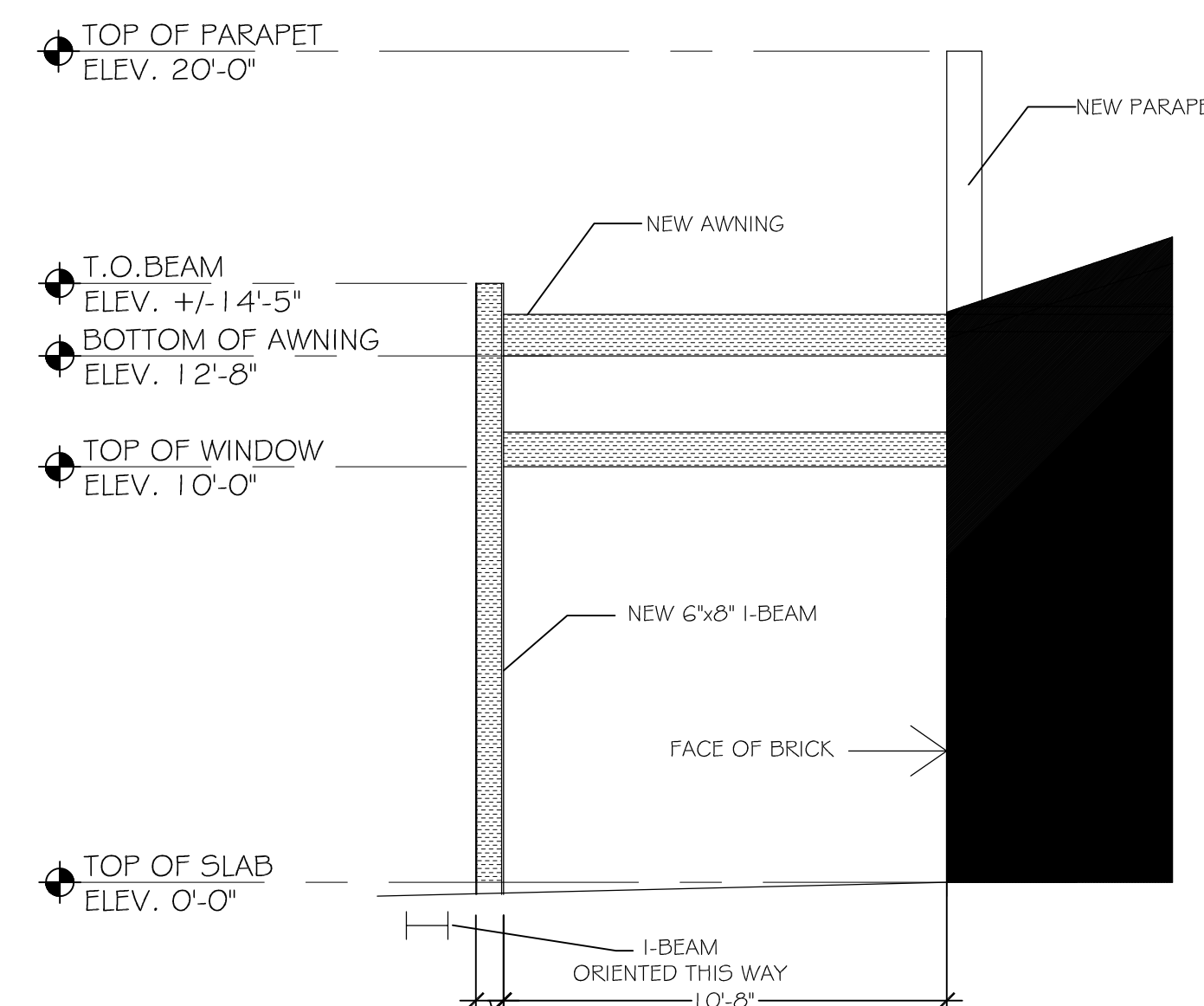
1 PROPOSED WEST ELEVATION - BID ALTERNATE
1/4" = 1'-0"



4 PARTIAL FLOOR PLAN
1/4" = 1'-0"



2 CORNER WEST ELEVATION- BID ALTERNATE
1/4" = 1'-0"



3 SCHEMATIC SECTION- BID ALTERNATE
1/4" = 1'-0"

BID COORDINATION NOTE

THIS BID ALTERNATE SCOPE IS FOR PRICING ONLY, NOT FOR CONSTRUCTION.
ARCHITECTURAL SCOPE IS DEFINED ON THIS SHEET AND ON A-801A, A-801B, AND A-801C.
FINAL STRUCTURAL ENGINEERING AND SPECIFICATIONS TO BE PROVIDED BY GC AS A DEFERRED SUBMITTAL
IF THE ALTERNATE BUDGET PRICE IS ACCEPTED.

A-80-



3D RENDERINGS FOR GENERAL REFERENCE ONLY. REFER TO THE CONSTRUCTION DOCUMENTS FOR SPECIFIC DIRECTION.

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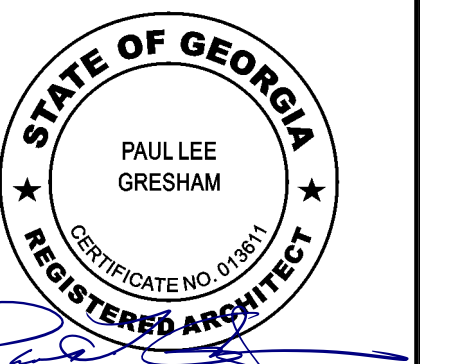
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	(DOT INDICATES SHEET WAS REVISED)

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FAYETTE COUNTY ELECTIONS OFFICE
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AL

BD RENDERING	PRICING ONLY	ALTERNATE BID
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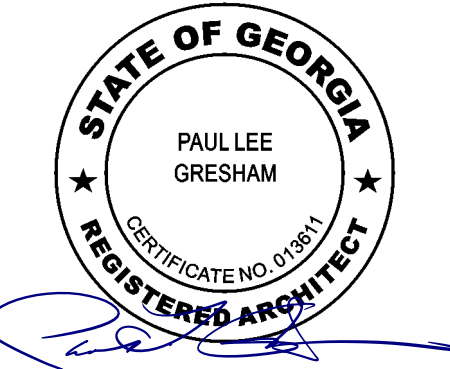
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Drawn By:	SKED
Checked By:	RG
PROJECT #	A-801B

